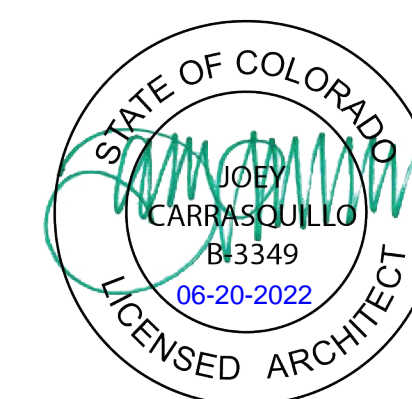


AndersonMasonDale  
Architects

# WELLNESS CENTER

Rain Garden Improvements



UNIVERSITY OF COLORADO DENVER

CONSTRUCTION DOCUMENTS

AMD No: 22-021.00

20 JUNE 2022



ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS AND SYMBOLS ARE USED ON DRAWINGS CONTAINED IN THE SET. SYMBOLS AND ABBREVIATIONS ON THIS SHEET APPLY ONLY TO ARCHITECTURAL DRAWINGS

A/C	AIR CONDITIONING	FBO	FURNISHED BY OWNER	PAR	PARALLEL
ACST	ACUSTIC	FD	FLOOR DRAIN	PC	PRECAST CONCRETE
ACR	ACRYLIC	FEC	FIRE EXTINGUISHER CABINET	PERP	PERPENDICULAR
AD	AREA DRAIN	FEX	FIRE EXTINGUISHER	PL	PLATE
ADD	ADDENDUM	FIN	FINISHED	PLAM	PLASTIC LAMINATE
ADH	ADHESIVE	FLR(IG)	FLOOR (ING)	PLBG	PLUMBING
ADJ	ADJACENT	FND	FOUNDATION	PNT	PAINTED
ADJUST	ADJUSTABLE	FO	FACE OF	PRN	PORCELAIN
AFF	ABOVE FINISHED FLOOR	FOS	FACE OF STUD	PSF	POUNDS PER SQUARE FOOT
AHU	AIR HANDLING UNIT	FR	FIRE RESISTIVE	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	FT	FOOT, FEET	PTN	PARTITION
AL	ALTERNATE	FTG	FOOTING	PVC	POLYVINYL CHLORIDE
AND	AND/ODD	FUT	FUTURE	PVAT	PAVEMENT
APC	ACOUSTICAL CEILING TILE			PWD	PLYWOOD
APPROX	APPROXIMATE (LY)	GA	GAUGE, GAGE	QTY	QUANTITY
ARCH	ARCHITECT (URAL)	GALV	GALVANIZED		
ASPH	ASPHALT	GB	GYPSPUM BOARD		
AUTO	AUTOMATIC	GBAR	GRAB BAR	R	RESISTANCE, THERMAL, RISER
		GC	GENERAL CONTRACT (OR)	RB	RESILIENT BASE
		GL	GLASS, GLAZING	RAD	RADIUS
		GR	GRILLE	RCP	REFLECTED CEILING PLAN
				RD	ROOF DRAIN
BD	BOARD			RE	REFERENCE, REFER TO
BTWN	BETWEEN			REINF	REINFORCING
BLDG	BUILDING	HB	HOSE BIB	REQ	REQUIRE (D)
BLK(G)	BLOCK (ING)	HC	HOLLOW CORE	RM	ROOM
BM	BEAM	HCAP	HANDICAPPED	RO	ROUGH OPENING
BO	BY OTHERS	HDW	HARDWARE	ROW	RIGHT OF WAY
BOT	BOTTOM	HM	HOLLOW METAL	RR	RESTROOM
BR	BACKER ROD	HDR	HORIZONTAL		
BRG	BEARING	HPT	HIGH POINT		
BRK	BRICK	HR	HOUR		
BS	BOTH SIDES	HT	HEIGHT		
BSMT	BASEMENT	HTR	HEATER	SBLK	SPLASH BLOCK
BUR	BUILT UP ROOFING	HVAC	HEATING/VENTILATION/AC	SC	SOLID CORE
		HW	HOT WATER	SCH	SCHEDULE
		HWH	HOT WATER HEATER	SD	STORM DRAIN
				SEC	SHEET
CAB	CABINET	ID	INSIDE DIAMETER	SHT	SHEATHING
CFM	CUBIC FEET/MINUTE	IN	INCH(ES)	SHTH	SIMILAR
CFMF	COLD FORMED METAL FRAMING	INCAN	INCANDESCENT	SOG	SLAB ON GRADE
CG	CORNER GUARD	INCL	INCLUDE (D), (ING)	SPEC	SPECIFICATION (S)
CIPC	CAST-IN PLACE CONCRETE	INFO	INFORMATION	SPL	SPECIAL
CJ	CONTROL JOINT	INS	INSULATE (D), (ION)	SO	SQUARE
CL	CENTERLINE	INT	INTERIOR	SST	STAINLESS STEEL
CLG	CEILING	INV	INVERT	STC	SOUND TRANSMISSION CLASS
CLO	CLOSET			STD	STANDARD
CLR	CLEAR (ANCE)	JT	JOINT	STL	STEEL
CMU	CONCRETE MASONRY UNIT	LAB	LABORATORY	STO	STORAGE
CTR	CENTER	LAM	LAMINATE (D)	STRUC	STRUCTURAL
CO	CLEANOUT	LAV	LAVATORY	SUS	SUSPENDED
COL	COLUMN	LB	POUND(S)	SYM	SYMMETRICAL
COMP	COMPRESSED, (ION, IBLE, OR)	LIB	LIBRARY		
CONST	CONSTRUCTION	LIN	LINEAL	T	TREAD
CONC	CONCRETE	LKR	LOCKER	T&B	TOP AND BOTTOM
CONT	CONTINUOUS OR CONTINUE	LT	LIGHT	T&G	TONGUE AND GROOVE
CONTR	CONTRACT (OR)			TEL	TELEPHONE
COORD	COORDINATE	MAINT	MAINTAIN (ENANCE)	TEMP	TEMPERATURE
CORR	CORRIDOR	MAS	MASONRY	THK	THICK (NESS)
CORRUG	CORRUGATED	MAX	MAXIMUM	THR	THRESHOLD
CPT	CARPET (ED)	MC	MECHANICAL CONTRACTOR	THRU	THROUGH
CSNK	COUNTERSINK/COUNTERSUNK	MECH	MECHANIC (AL)	TO	TO
CW	CURTAIN WALL	MET	METAL	TOB	TOP OF BEAM
		MFR	MANUFACTURE (ER)	TOC	TOP OF CURB
DBL	DOUBLE	MH	MANHOLE	TOI	TOP OF INSULATION
DEMO	DEMOLISH, DEMOLITION	MIN	MINIMUM	TOP	TOP OF PARAPET
DF	DRINKING FOUNTAIN	MISC	MISCELLANEOUS	TOM	TOP OF MASONRY
DIAM	DIAMETER	MO	MASONRY OPENING	TOS	TOP OF SLAB
DIM	DIMENSION	MR	MOISTURE RESISTANT	TOP	TOP OF STEEL
DISP	DISPOSAL	MT	MOUNT (ED), (ING)	TOW	TOP OF WALL
DN	DOWN	MTL	MATERIAL (S)	TPD	TOILET PAPER DISPENSER
DP	DEEP			TPART	TOILET PARTITION
DFF	DAMP/PROOFING	NA	NOT APPLICABLE	TR	TRANSOM
DR	DOOR	NIC	NOT IN CONTRACT	TS	TUBE STEEL
DS	DOWNSPOUT	NO	NUMBER	TV	TELEVISION
DTL	DETAIL	NOM	NOMINAL	TYP	TYPICAL
DWG	DRAWING	NR	NONE REQUIRED	TZ	TERRAZZO
		NRC	NOISE REDUCTION COEFFICIENT		
EA	EACH	NTS	NOT TO SCALE	UL	UNDERWRITERS LABORATORY
EJ	EXPANSION JOINT			UNFN	UNFINISHED
ELEV	ELEVATION	OA	OVERALL	UN	UNLESS OTHERWISE NOTED
ELEC	ELECTRIC (AL)	OB	OBSCURE	UR	URNAL
ENC	ENCLOSE (URE)	OC	ON CENTER (S)		
ENT	ENTRANCE	OD	OUTSIDE DIAMETER	VAR	VARIABLE (VARIES)
EQ	EQUAL	OH	OVERHEAD	VB	VAPOR BARRIER
EOP	EQUIPMENT	OPG	OPENING	VCT	VINYL COMPOSITION TILE
EWC	ELECTRIC WATER COOLER	OPH	OPPOSITE HAND	VERT	VERTICAL
EXH	EXHAUST	OPP	OPPOSITE	VEST	VESTIBULE
EXIST, EX	EXISTING	ORD	OVERFLOW ROOF DRAIN	VIF	VERIFY IN FIELD
EXP	EXPOSED	OZ	OUNCE		
EXPN	EXPANSION	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	W	WIDE OR WIDTH
EXT	EXTERIOR			WI	WITH
				W/O	WITHOUT
				WC	WATER CLOSET
				WD	WOOD
				WP (G)	WATERPROOF (ING)
				WR	WATER RESISTANT
				WWF	WELDED WIRE FABRIC

SYMBOLS LEGEND

GRAPHIC SYMBOLS

DISCIPLINE INDEX

A	ARCHITECTURAL DRAWINGS
C	CIVIL OR SURVEY DRAWINGS
E	ELECTRICAL DRAWINGS
L	LANDSCAPE DRAWINGS
M	MECHANICAL DRAWINGS
G	GENERAL INFORMATION
P	PLUMBING DRAWINGS
S	STRUCTURAL DRAWINGS
T	TECHNOLOGY DRAWINGS

CONTENT INDEX

0	GENERAL INFORMATION AND STANDARDS
1	PLANS INCLUDING SITE, FLOOR, CEILING, FINISH AND ROOF DRAWINGS
2	EXTERIOR ELEVATIONS AND BUILDING SECTIONS
4	ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS
5	SCHEDULES AND ASSOCIATED DETAILS
6	WALL SECTIONS AND DETAILS
7	SUPPLEMENTAL DRAWINGS
8	SUPPLEMENTAL DRAWINGS

SHEET NUMBERING

MATERIAL PATTERNS

	BATT INSULATION
	BRICK
	CAST-IN-PLACE CONCRETE
	CONCRETE BLOCK
	EARTH OR BACKFILL
	STEEL
	GYPSPUM BOARD
	PLASTER
	PLYWOOD
	PRECAST CONCRETE
	RIGID INSULATION

TEXT SYMBOLS

&	AND
@	AT
X	BY
#	POUND OR NUMBER
/ OR :	PER
X'	(X) FEET
X"	(X) INCHES

DRAWING INDEX

GENERAL

G-001 - INDEX AND ABBREVIATIONS

LANDSCAPE

L-100 - LANDSCAPE DEMO PLAN  
L-202 - ENLARGEMENT #3 SPEER BOULEVARD/AURARIA PARKWAY PLANTING  
IR-102 - IRRIGATION PLAN FOR REFERENCE

ARCHITECTURE

A-100 - ROOF DRAIN IMPROVEMENTS

PLUMBING

P-001 - PLUMBING LEGENDS, DETAILS AND GENERAL NOTES  
P-101 - PLUMBING FLOOR PLAN - LEVEL 1

AndersonMasonDale  
Architects

University of Colorado  
Denver  
WELLNESS CENTER

AMD No. 22-021.00

Owner

University of Colorado Denver  
Lawrence Street Center  
1380 Lawrence Street  
Denver, CO 80217  
T: 303-556-2400

CM/GC

Saunders Construction, Inc.  
6650 South Jordan Road  
Centennial, CO 80112  
T: 303-699-9000  
www.saundersci.com

Architect of Record

AndersonMasonDale Architects, P.C.  
3198 Speer Boulevard  
Denver, CO, 80211  
www.amdarchitects.com

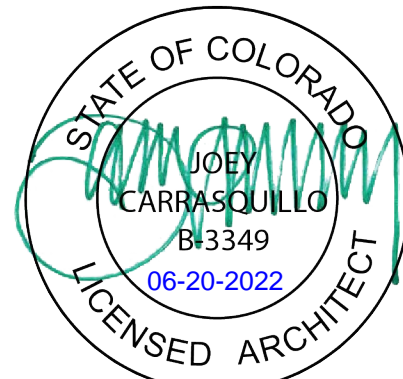
Landscape Architect

Wenk Associates  
1335 Eliot Street  
Denver, CO 80204  
T: 303-628-0003  
www.wenkia.com

MEP Engineer

Cator, Ruma & Associates, Co.  
896 Tabor Street  
Lakewood, CO 80401  
T: 303-232-6200  
www.catorrumba.com

Seals and Signatures



Issue

CONSTRUCTION DOCUMENTS

Date

20 JUNE 2022

Project

Number: AMD No. 22-021.00

Drawn

By: AMD

Reviewed

By: JT

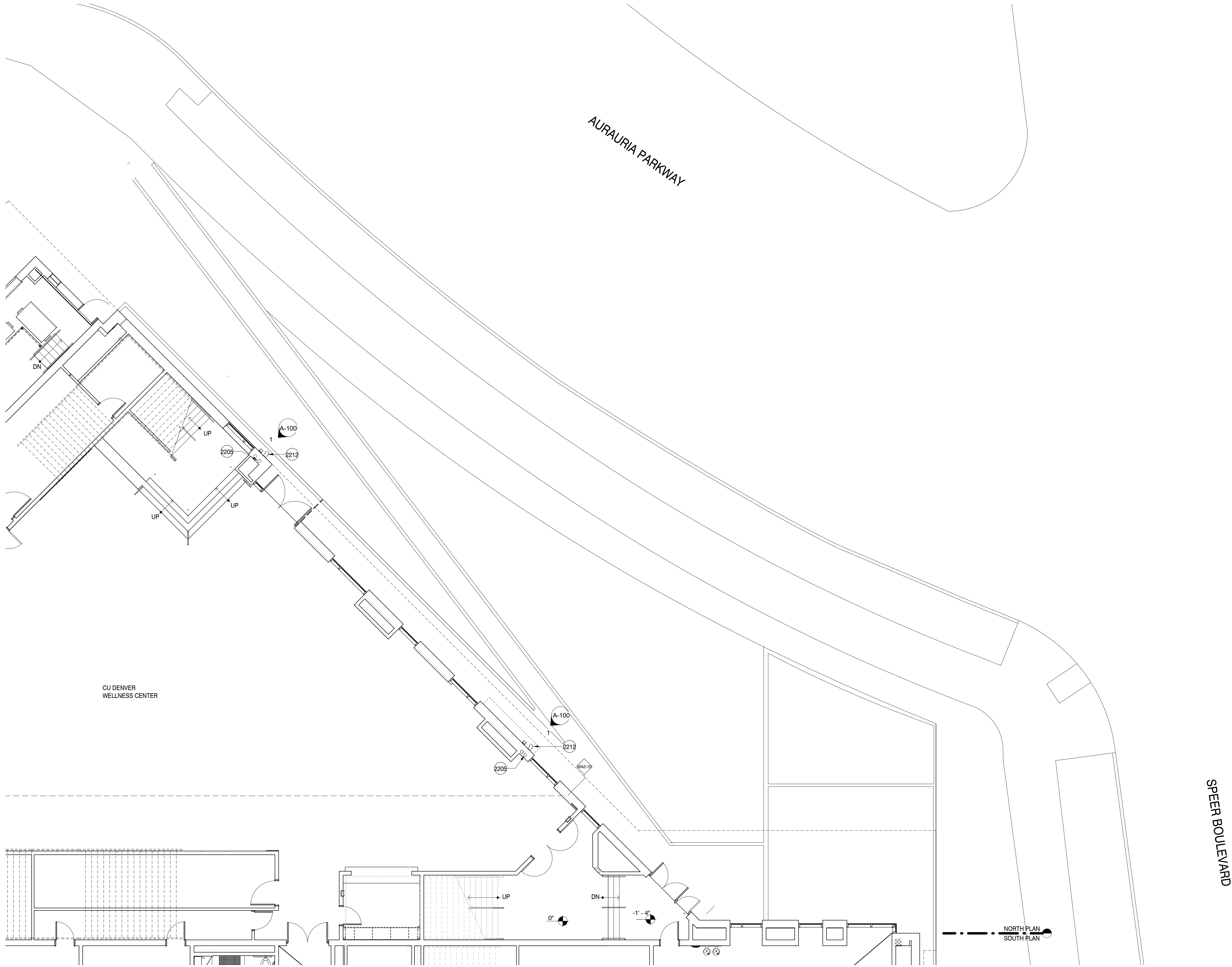
Approved

By: JC

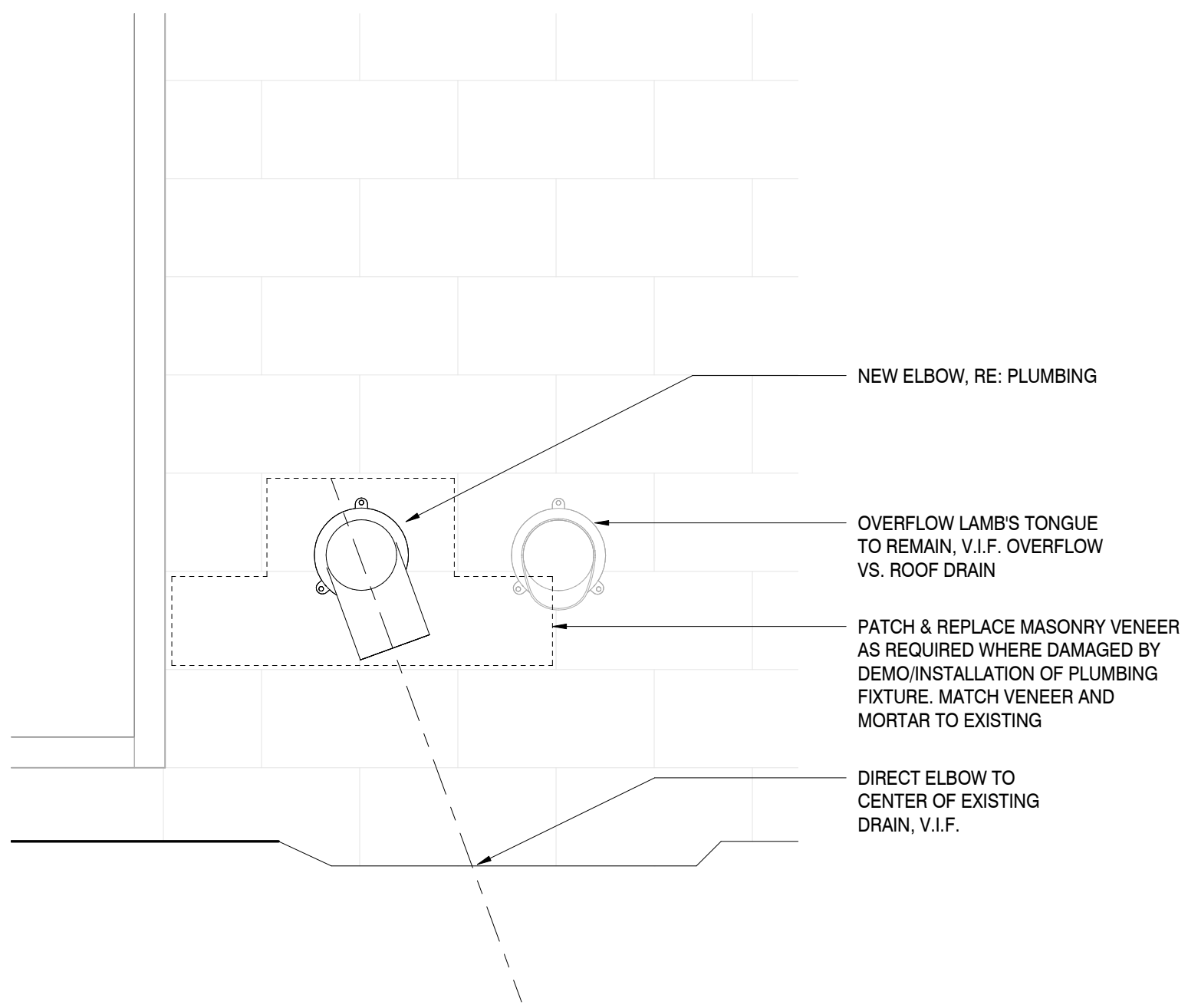
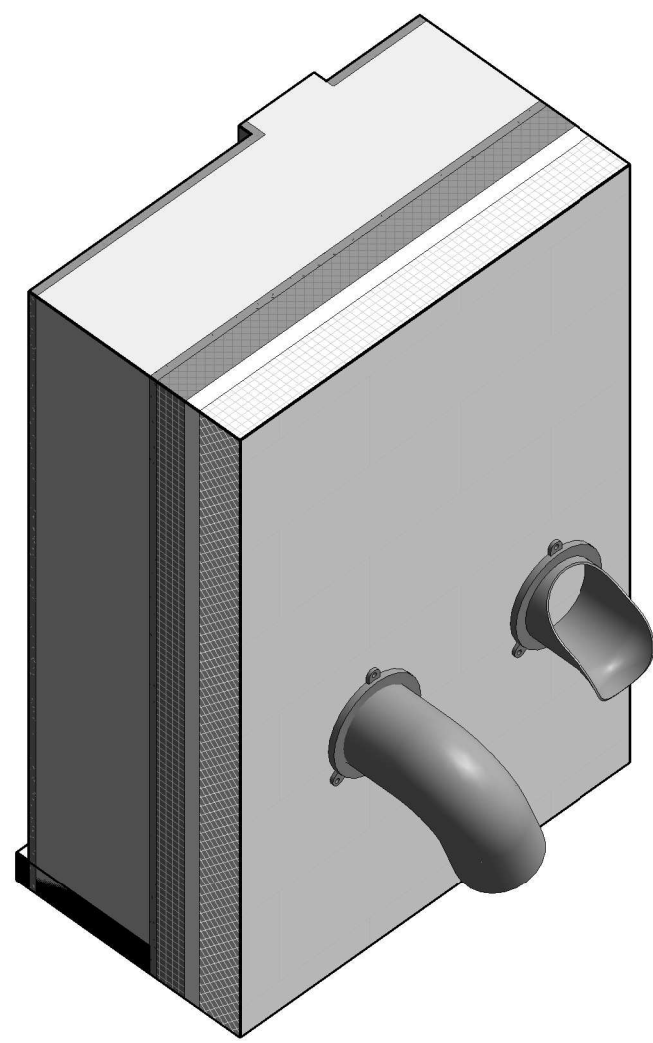
INDEX & ABBREVIATIONS

G-001

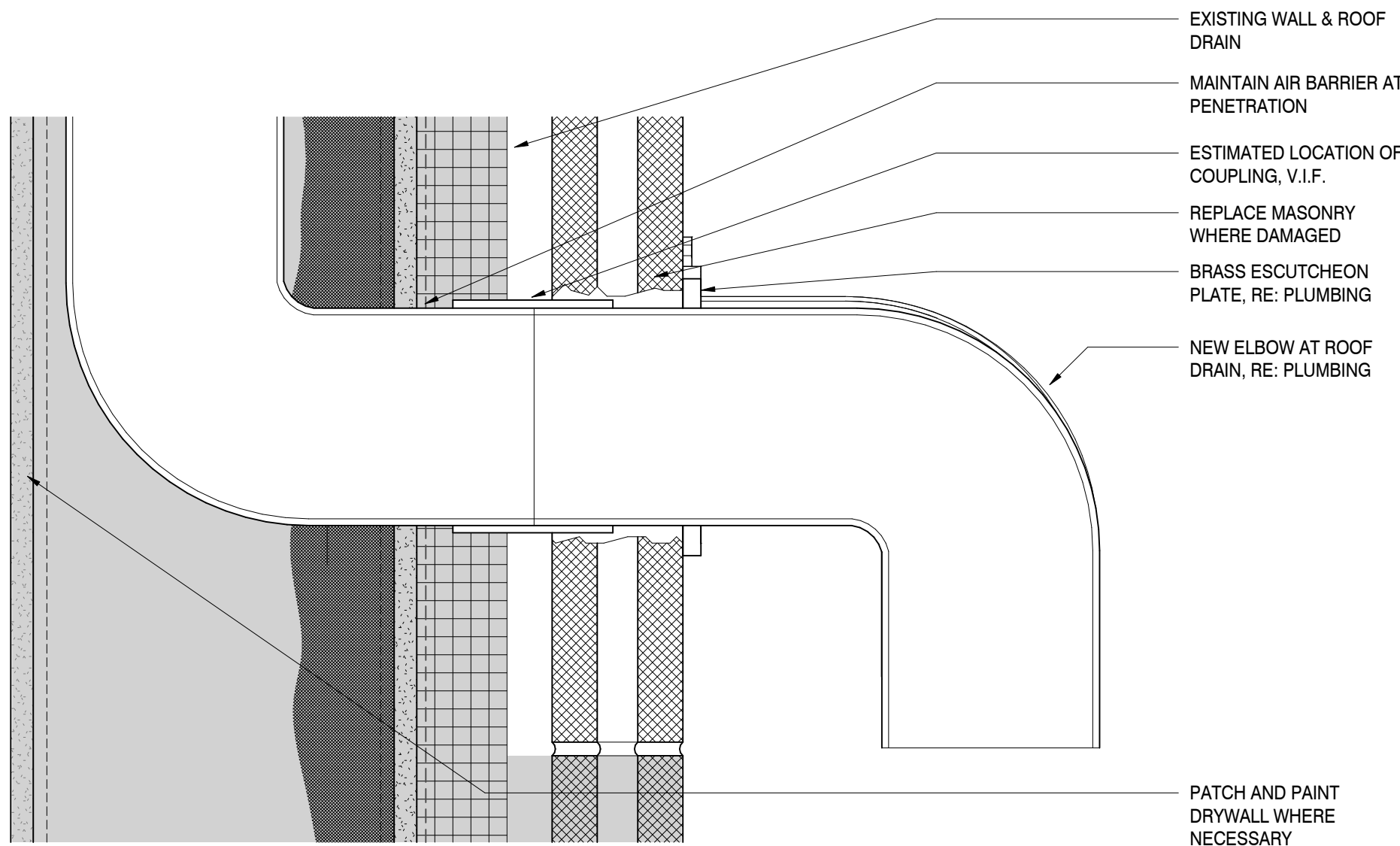




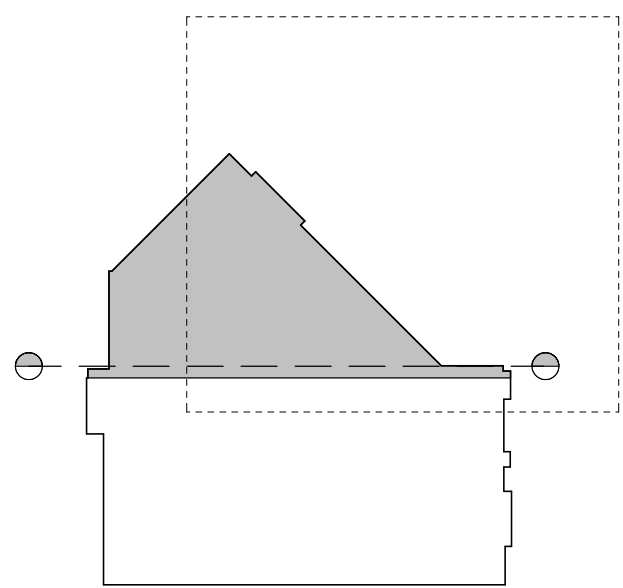
ENLARGED SITE PLAN  
1/8" = 1'-0"



1 ELEVATION - ROOF DRAIN ELBOW  
SCALE: 1" = 1'-0"



2 SECTION DETAIL - ROOF DRAIN ELBOW  
SCALE: 3" = 1'-0"



WORK NOTES	
2205	ROOF DRAIN, RE: PLUMBING
2212	REPLACE EXISTING LAMB'S TONGUE WITH ELBOW, RE: PLUMBING

GENERAL NOTES	
1.	RE: LANDSCAPE AND PLUMBING PLANS FOR MORE INFORMATION

AndersonMasonDale  
Architects

University of Colorado  
Denver  
WELLNESS CENTER

AMD No. 22-021.00

**Owner**  
University of Colorado Denver  
Lawrence Street Center  
1380 Lawrence Street  
Denver, CO 80217  
T: 303-556-2400

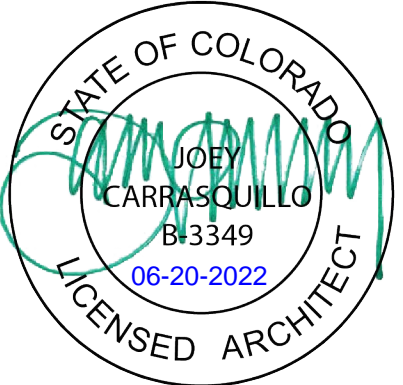
**CM/GC**  
Saunders Construction, Inc.  
6650 South Jordan Road  
Centennial, CO 80112  
T: 303-699-9000  
www.saundersci.com

**Architect of Record**  
AndersonMasonDale Architects, P.C.  
3198 Speer Boulevard  
Denver, CO, 80211  
T: 303-294-9448  
www.amdarchitects.com

**Landscape Architect**  
Wenk Associates  
1335 Elati Street  
Denver, CO 80204  
T: 303-625-0003  
www.wenkla.com

**MEP Engineer**  
Cator, Ruma & Associates, Co.  
896 Tabor Street  
Lakewood, CO 80401  
T: 303-232-6200  
www.catoruma.com

Seals and Signatures



Issue  
CONSTRUCTION DOCUMENTS

Date  
20 JUNE 2022

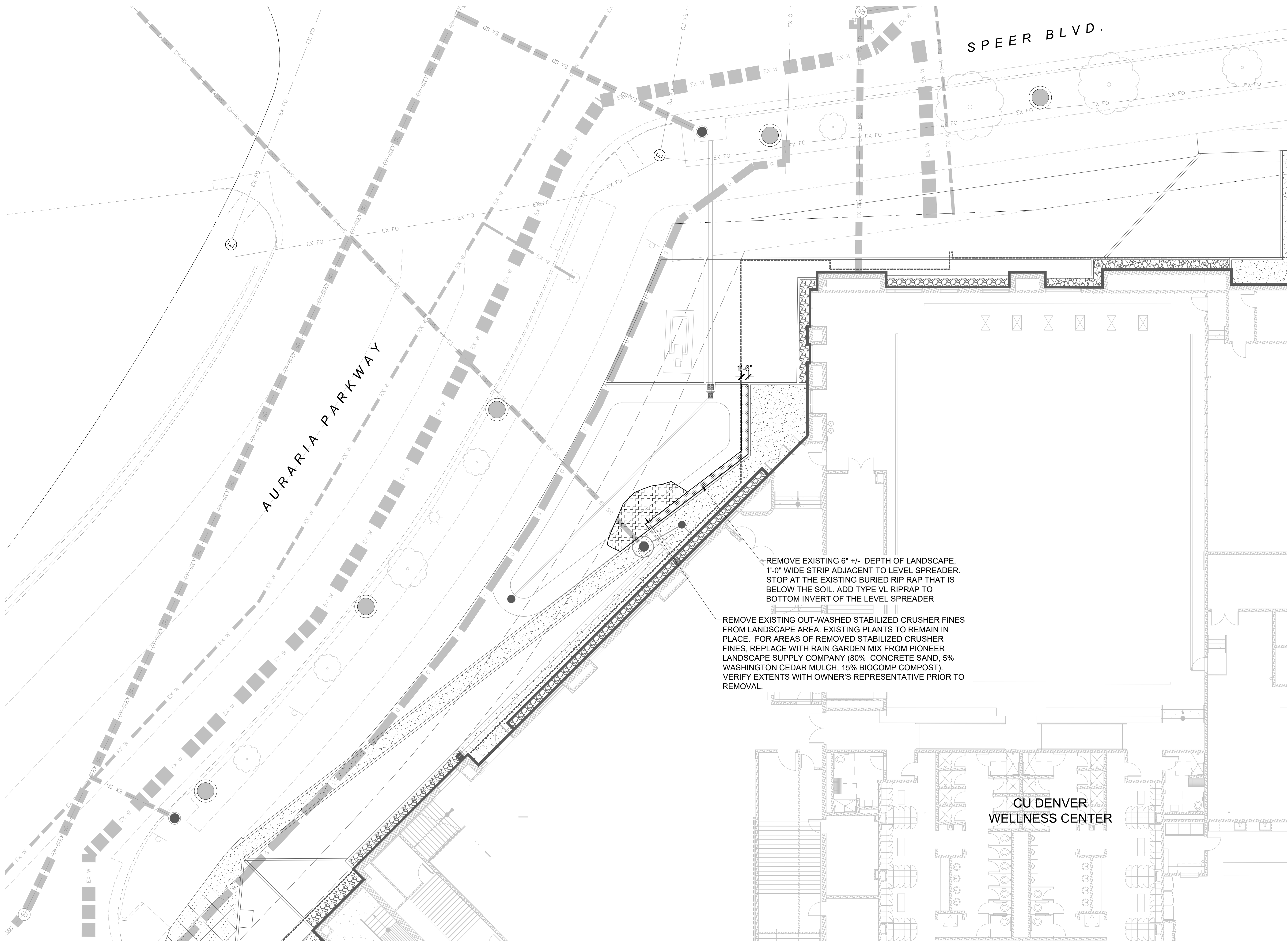
Project  
Number: AMD No. 22-021.00

Drawn: MW  
Reviewed: JT  
Approved: JT

ROOF DRAIN IMPROVEMENTS

A-100





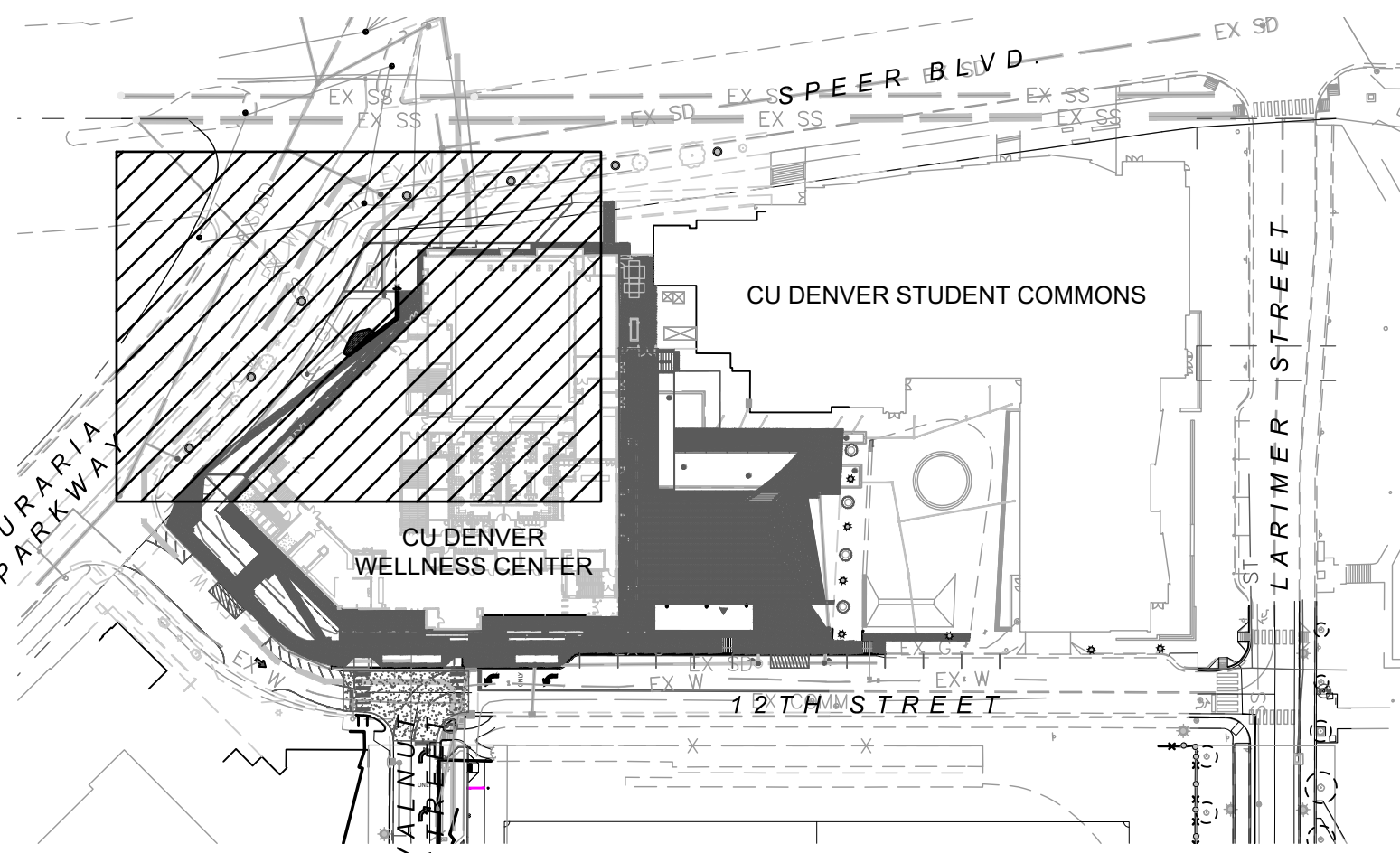
01 LANDSCAPE DEMOLITION PLAN  
1"=10'-0"

DEMOLITION & PROTECTION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DEMOLITION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO POT HOLE ALL EXISTING UTILITIES THAT ARE WITHIN 5' OF ALL PLANNED FOR UTILITIES AND TO POT HOLE ALL UTILITIES THAT REQUIRE UTILITY CROSSING OR COORDINATION.
3. THE CONTRACTOR IS PUT ON NOTICE THAT CONDITIONS MAY EXIST UNDERGROUND THAT ARE NOT SHOWN IN THE SURVEY OR CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, LIGHTING, SANITARY SEWER, STORM SEWER, GAS LINES, & IRRIGATION CONDUITS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.
4. CONTRACTOR SHALL ERECT AND MAINTAIN TREE PROTECTION FENCING, BARRICADES, SIGNAGE, AND EROSION CONTROL MEASURES AS DESCRIBED IN THE SPECIFICATIONS PRIOR TO COMMENCING DEMOLITION OPERATIONS.
5. CONTRACTOR SHALL THOROUGHLY CLEAR, GRUB, AND DISPOSE OF EXISTING PLANT MATERIAL AREAS SHOWN FOR DEMOLITION.
6. CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
7. CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ALL BUILDINGS, UTILITIES, AND SITE IMPROVEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL, AND THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO OWNER.
8. CONTRACTOR SHALL CAREFULLY REMOVE, SALVAGE, STOCKPILE, REUSE, AND RESET EXISTING SIGNAGE, PAVERS, SCULPTURES, MANHOLE COVERS, VALVE COVERS AND BOXES, TELEPHONE, ELECTRICAL, CABLE PEDESTALS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED AND DIRECTED BY OWNER'S REPRESENTATIVE, UNLESS OTHERWISE NOTED. STOCKPILE MATERIALS AT APPROVED LOCATION. CONTRACTOR SHALL LOCATE AND INSTALL THESE ITEMS AS THEY WERE ORIGINALLY INSTALLED EXCEPT AS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
9. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT LEAST 3 BUSINESS DAYS PRIOR TO COMMENCING WORK.
10. COORDINATE ADDITIONAL DEMOLITION REQUIREMENTS AS NECESSARY FOR CONSTRUCTION ACCESS AND STAGING.
11. DEMOLITION WORK ADJACENT TO EXISTING PAVEMENT SHALL BE SAWCUT TO MAINTAIN AN INTACT EDGE. DAMAGE TO THE EXISTING EDGE OF PAVEMENT WILL REQUIRE ADDITIONAL SAWCUTTING, REMOVAL AND REPLACEMENT. CONCRETE SHALL BE REMOVED AT EXISTING JOINT LOCATIONS.
12. CONTRACTOR SHALL PROVIDE FOR DUST CONTROL DURING DEMOLITION TO INCLUDE COVERING OF ALL TRUCKS HAULING DEBRIS OFF-SITE, PERIODICALLY CLEANING AND SWEEPING ADJACENT STREETS, AND APPLYING AN APPROVED DUST PALLIATIVE AS NECESSARY.
13. THOROUGHLY CLEAN ALL AREAS AND SURFACES IMPACTED BY DEMOLITION PRIOR TO START OF NEW CONSTRUCTION.
14. ENGINEERS / SURVEYOR/LANDSCAPE ARCHITECT ASSUME NO RESPONSIBILITY FOR BURIED UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES PRIOR TO AND DURING CONSTRUCTION.
15. PROTECT EXISTING IRRIGATION IN PLACE. ADJUST IRRIGATION DRIPLINE AS NEEDED. REFERENCE SHEET IR-100 FOR LOCATIONS.

DEMOLITION LEGEND

- LANDSCAPE TO BE REMOVED
- STABILIZED CRUSHER FINES TO BE REMOVED



02 VICINITY MAP  
1"=100'-0"

NOTES

- EXISTING CONDITIONS
- EXISTING UTILITY
- EXISTING MANHOLE
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING ASPHALT PAVING
- EXISTING CURB & GUTTER
- EXISTING LAWN
- EXISTING TREE(S)
- EXISTING WALK

- PAVING
- CONCRETE PAVING - PEDESTRIAN
- COLORED CONCRETE WITH FLORSPARTIC SEALER
- STABILIZED CRUSHER FINES
- PERMEABLE PAVING
- 4", 6", 12" WIDE CONC PAVING BAND
- 1/4"-1/8" FRACTURED GRAVEL (PERMEABLE)
- 1/4"-1/8" FRACTURED GRAVEL (NON-PERMEABLE)
- GRAVEL MULCH

- JOINTING
- DOWELED JOINT CONNECTION
- SEALED EXPANSION JOINT
- SAWCUT CONTROL JOINT
- CONCRETE WALL CONTROL JOINT

- CURBS & EDGERS
- RUB RAIL
- STEEL EDGER

- STAIRS, WALLS & RAILINGS
- CONCRETE STEPS, 1' TREAD
- CONCRETE STEPS, 1'-6" TREAD
- STAINLESS STEEL HANDRAIL
- CONCRETE SEAT WALL
- CONCRETE PLINTH
- CONCRETE TERRACES, 2' WIDE
- CONCRETE TERRACE - WITH STEPS
- CONCRETE TERRACE - AT PLANTERS
- CONCRETE WALL - 6" THK
- CHEEK WALL
- 12" CONCRETE BAND-WALL
- CONCRETE TURN-DOWN WALL
- CONCRETE TERRACE @ PERM. PAVERS

- SITE FURNISHINGS & SIGNAGE
- TABLE & CHAIRS, TYPE A
- TABLE & CHAIRS, TYPE B
- TRASH RECEPTACLE & RECYCLE BIN
- BICYCLE RACK
- SKATE DETERRENT
- SKATEBOARD RACK
- BICYCLE REPAIR STATION
- PARKING METER
- REMOVABLE BOLLARD

- DRAINAGE
- DRAIN INLET
- CLEANOUT
- MANHOLE
- LEVEL SPREADER
- TRENCH DRAIN
- PEDESTRIAN GRATE

- PLANTING
- DECIDUOUS TREE PLANTING
- TREE PROTECTION
- SHRUB PLANTING
- DECIDUOUS TREE IN FRACTURED STONE
- WATER QUALITY
- DECIDUOUS TREE IN STRUCTURAL SOIL
- PERENNIAL & ORNAMENTAL GRASS PLANTING

- LIGHTING
- PEDESTRIAN LIGHT
- WALL LIGHT
- STEP LIGHT
- UPLIGHT
- MULTI-HEAD LIGHT
- GFI RECEPTACLE

DTL./SHT.#

-

01/L400  
RE: SPECS  
03/L400  
04/L400  
05/L400  
08/L400  
09/L400  
09/L404

02/L400  
01/L400  
01/L400  
06/L402

07/L401  
08/L404

06/L400  
07/L400  
05/L401  
01/L402  
02/L402  
04/L402  
07/L402  
10/L402  
05/L402  
10/L400  
02/L403  
06/L403  
03/L403

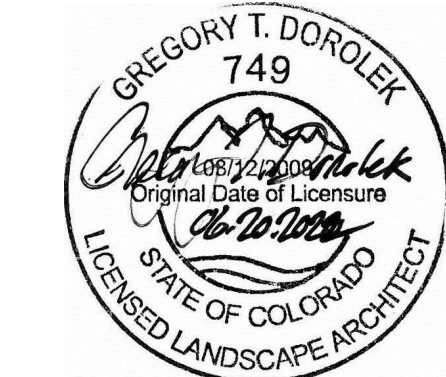
01/L401  
02/L401  
03/L401  
04/L401  
09/L401  
08/L401  
01/L403  
BY OTHERS  
04/L403

RE: CIVIL  
RE: CIVIL  
RE: CIVIL  
RE: CIVIL  
06/L401  
05/L403

01/L404  
02/L404  
03/L404  
04/L404  
05/L404  
06/L404  
07/L404

RE: ELEC  
RE: ELEC  
RE: ELEC  
RE: ELEC  
RE: ELEC  
RE: ELEC

Seals and Signatures



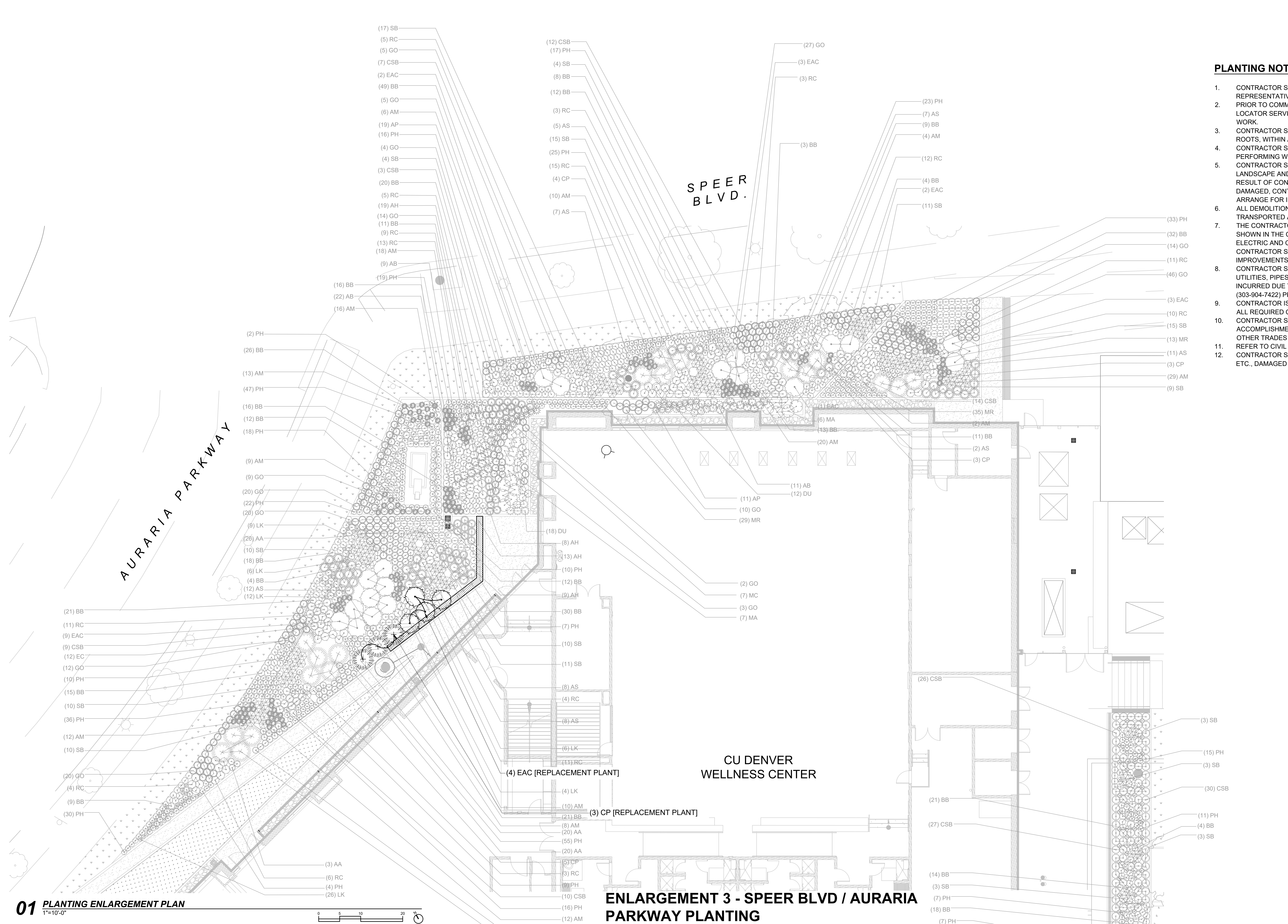
Issue  
CONSTRUCTION DOCUMENTS  
20 JUNE 2022

Project Number: AMD No. 22-021.00  
Drawn By: JC  
Reviewed By: JC  
Approved By: JC



PLANTING NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL ITEMS REQUIRING REMOVAL AND PROTECTION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- PRIOR TO COMMENCING DEMOLITION OPERATIONS, CONTRACTOR SHALL CONTACT ALL UTILITY LOCATOR SERVICES AND CONFIRM ALL SERVICE LINES AND UTILITY LOCATIONS WITHIN THE LIMITS OF WORK.
- CONTRACTOR SHALL THOROUGHLY REMOVE AND DISPOSE OF ALL PLANT MATERIALS, INCLUDING ROOTS, WITHIN AREAS SHOWN FOR DEMOLITION.
- CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
- CONTRACTOR SHALL REPLACE, REPAIR AND RESTORE TO ORIGINAL CONDITION, ALL STRUCTURES, LANDSCAPE AND SITE IMPROVEMENTS, NOT DESIGNATED FOR REMOVAL, THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO OWNER. IF UTILITIES ARE DAMAGED, CONTRACTOR SHALL VERIFY REPLACEMENT REQUIREMENTS WITH UTILITY PROVIDERS AND ARRANGE FOR IMMEDIATE REPAIR.
- ALL DEMOLITION ITEMS NOT DESIGNATED FOR SALVAGE, STOCKPILE, AND REUSE SHALL BE TRANSPORTED AND LEGALLY DISPOSED OF OFF-SITE AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE AWARE THAT UNDERGROUND IMPROVEMENTS MAY EXIST THAT ARE NOT SHOWN IN THE CONSTRUCTION PLANS INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, DEBRIS, ELECTRIC AND COMMUNICATION CONDUITS, PIPES, AND STORM DRAIN AND SEWER CONNECTIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF THESE UNKNOWN IMPROVEMENTS ARE LOCATED, EXPOSED, OR DAMAGED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE TO UTILITIES. CONTACT UNDERGROUND CONSULTING SOLUTIONS (303-904-7422) PRIOR TO ANY CONSTRUCTION ACTIVITY.
- CONTRACTOR IS RESPONSIBLE FOR SECURING AND PROPERLY DISPLAYING ALL GOVERNING PERMITS, ALL REQUIRED CITY OF DENVER / COUNTY PERMITS, AND STATE PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SUBCONTRACTORS ACCOMPLISHMENT OF SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- REFER TO CIVIL DOCUMENTS FOR GRADING AND ADDITIONAL SITE INFORMATION.
- CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ALL UTILITIES, PAVING, CURBING, ETC., DAMAGED AS A RESULT OF HIS OPERATIONS AT NO ADDITIONAL COST TO OWNER.



ENLARGEMENT 3 - SPEER BLVD / AURARIA  
PARKWAY PLANTING

01 PLANTING ENLARGEMENT PLAN  
1"=10'-0"

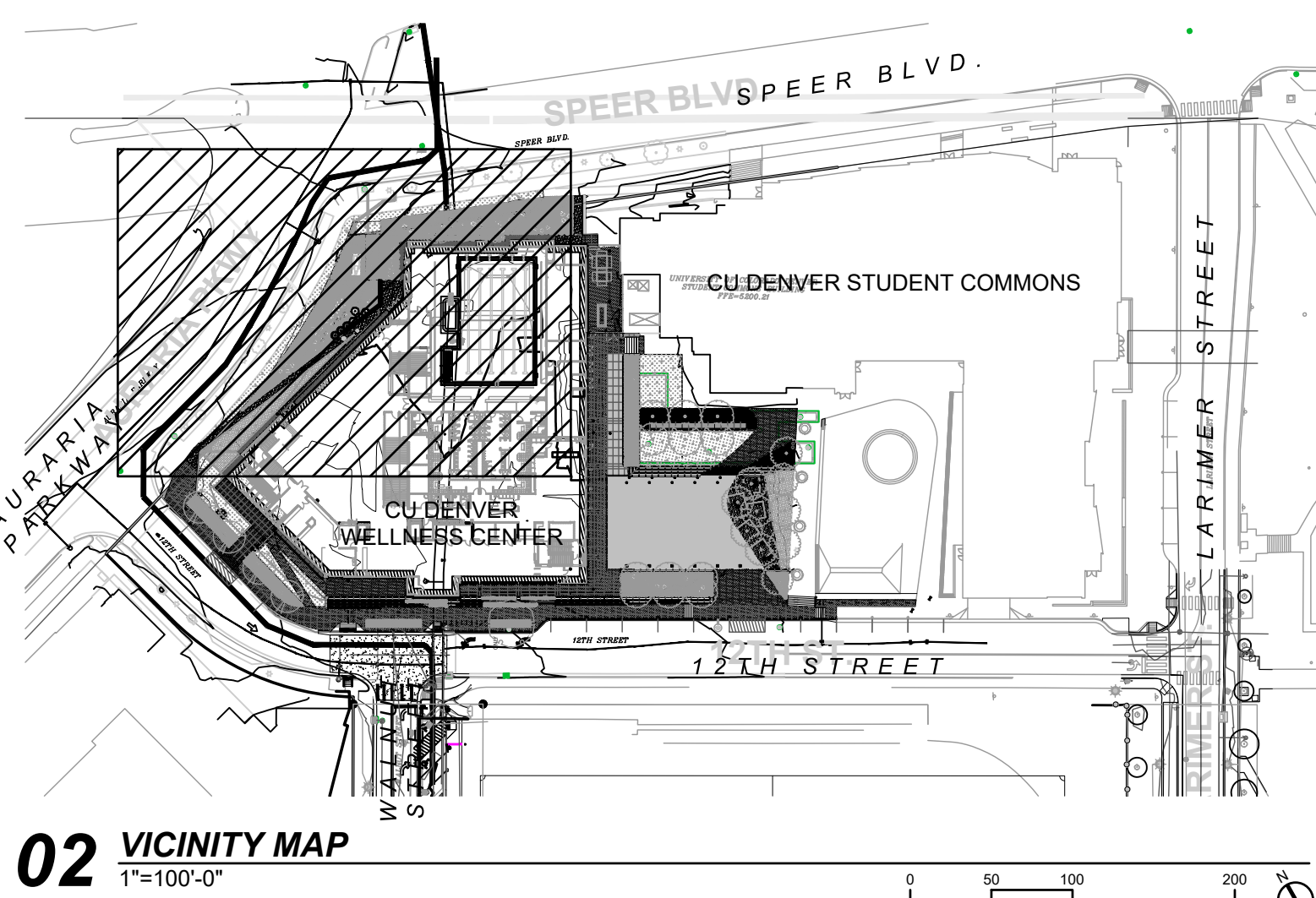
PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME
GTS	GLEDITSIA TRIACANTHOS 'INERMIS' 'SHADEMASTER' TM / SHADEMASTER LOCUST
MSS	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE
PM	PLATANUS X ACERIFOLIA 'MORTON CIRCLE' / EXCLAMATION LONDON PLANE TREE
PA2	POPULUS ANGUSTIFOLIA / NARROWLEAF POPLAR
PA	POPULUS ANGUSTIFOLIA / NARROWLEAF POPLAR
PA3	POPULUS ANGUSTIFOLIA / NARROWLEAF POPLAR
SR	SOPHORA JAPONICA 'REGENT' / JAPANESE PAGODA TREE
SHRUBS	BOTANICAL NAME / COMMON NAME
AM	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW
AS	AGASTACHE RUPESTRIS 'SUNSET' / SUNSET HYSSOP

AA	AGASTACHE X 'APRICOT SUNRISE' / APRICOT SUNRISE ANISE HYSSOP
AB	AJUGA REPTANS 'BRONZE BEAUTY' / BRONZE BEAUTY BUGLEWEED
AH	ANEMONE X HYBRIDA 'HONORINE JOBERT' / HONORINE JOBERT JAPANESE ANEMONE
AP	ATHYRIUM NIPPONICUM 'PICTUM' / JAPANESE PAINTED FERN
BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA
CSB	CORNUS SERICEA 'ARTIC FIRE' / ARTIC FIRE DOGWOOD
CP	CYTISUS X PRAECOX 'ALLGOLD' / WARMINSTER BROOM
DU	DIPTYOPTERIS FILIX-MASS 'UNDULATA ROBUSTA' / ROBUST UNDULATED MALE FERN
EAC	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH
EC	EUONYMUS FORTUNEI 'COLORATUS' / COLORATUS PURPLE WINTERCREEPER

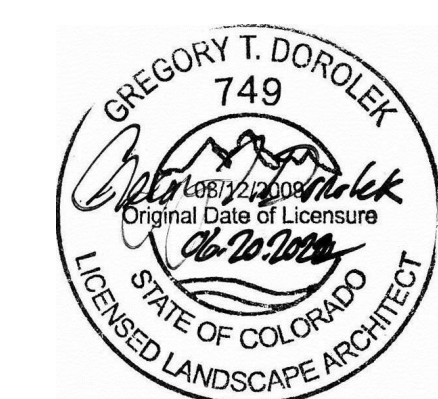
PLANT REPLACEMENT SPECIES

GO	GALIUM ODORATUM / SWEET WOODRUFF
LK	LIATRIS SPICATA 'KOBOLD' / SPIKE GAYFEATHER
MA	MAHONIA AQUIFOLIUM / OREGON GRAPE
MC	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE
MR	MAHONIA REPENS / CREEPING MAHONIA
PH	PANICUM VIRGATUM 'HEAVY METAL' / BLUE SWITCH GRASS
RC	RATIBIDA COLUMNIFERA / YELLOW PRAIRE CONEFLOWER
SB	SCHIZACHYRIUM SCOPARIUM 'BLAZE' / BLAZE LITTLE BLUESTEM
GROUND COVERS	BOTANICAL NAME / COMMON NAME
POA	POA PRATENSIS / KENTUCKY BLUEGRASS



02 VICINITY MAP  
1"=100'-0"

Seals and Signatures



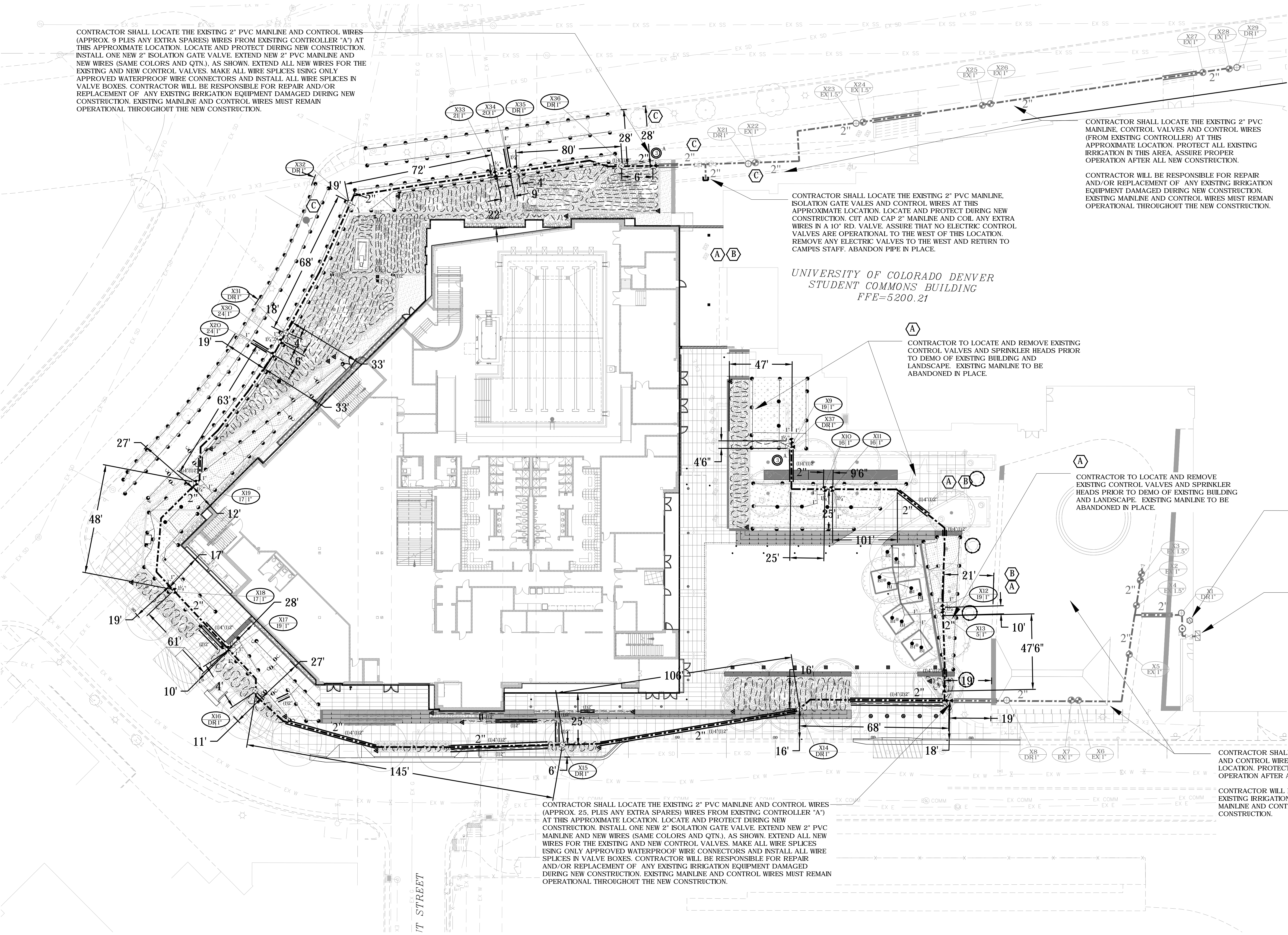
Issue  
CONSTRUCTION DOCUMENTS  
20 JUNE 2022

Project Number: AMD No. 22-021.00  
Drawn By: JC  
Reviewed By: JC  
Approved By: JC

Enlargement #3 -  
Speer Boulevard / Auraria Parkway  
Planting

L-202





CONTROLLER LOCATION "X" - EXISTING

EXISTING MOTOROLA IRRINET ACE CONTROLLER. CONTRACTOR TO COORDINATE WITH AURARIA MAINTENANCE STAFF TO DETERMINE WHICH WIRES CONTROLS EXISTING VALVES THAT WILL REMAIN, WHAT VALVES THAT WILL BE ELIMINATED COMPLETELY AND WHAT CONTROL VALVES ARE TO BE REUSED AND ASSIGNING THEM NEW STATION NUMBERS. CONTRACTOR WILL USE SOME OF THE EXTRA SPARE WIRES THAT WERE INSTALLED IN PHASE I, FOR ADDITIONAL NEW CONTROL VALVES. COORDINATE WITH AURARIA MAINTENANCE STAFF TO ASSIGN A STATION NUMBER AND TO PROGRAM.

POINT OF CONNECTION NO.1 - EXISTING

EXISTING 1.5" TAP OFF BUILDING AT THIS APPROXIMATE LOCATION. BACKFLOW AND SHUT OFF VALVE IS LOCATED INDOORS.

CONTRACTOR SHALL LOCATE THE EXISTING 2" PVC MAINLINE, CONTROL VALVES AND CONTROL WIRES (FROM EXISTING CONTROLLER) AT THIS APPROXIMATE LOCATION. PROTECT ALL EXISTING IRRIGATION IN THIS AREA, ASSURE PROPER OPERATION AFTER ALL NEW CONSTRUCTION.

CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IRRIGATION EQUIPMENT DAMAGED DURING NEW CONSTRUCTION. EXISTING MAINLINE AND CONTROL WIRES MUST REMAIN OPERATIONAL THROUGHOUT THE NEW CONSTRUCTION.

Construction Notes - Existing Irrigation

- REMOVE EXISTING ELECTRIC CONTROL VALVES FROM AREAS THAT WILL BE DEMO'D. RELOCATE AS SHOWN ON PLANS. INSTALL NEW FITTINGS AND VALVE BOX. COORDINATE WITH MAINTENANCE STAFF PERSONAL PRIOR TO BEGINNING WORK AS TO STATION NUMBERING. ANY EXTRA CONTROL VALVES THAT ARE NOT USED, RETURN TO MAINTENANCE STAFF.
- REMOVE EXISTING QUICK COUPLER VALVES, POP-UP SPRAY HEADS AND ROTORS THAT ARE IN DEMO AREAS AND RETURN TO MAINTENANCE STAFF PRIOR TO BEGINNING AND DEMO WORK.
- IMPORTANT: ALL OLD RENOVATIONS TO EXISTING SYSTEMS SHALL MATCH EQUIPMENT AND PVC LATERALS LINES. ALL NEW INSTALLATION IN PHASE I WORK TO FOLLOW IRRIGATION SCHEDULE FOR NEW EQUIPMENT AND USE POLY LATERAL LINES.

REFER TO SHEET

IR-101	IRRIGATION NOTES
IR-101	IRRIGATION SCHEDULE
IR-102	IRRIGATION PLANS
IR-101 & IR-103	IRRIGATION DETAILS



FILENAME: P:\CU\Denver\2022-003 Wellness Roof Drain\Code\Plumb.mxd LAYOUT: P-001 REVISID: 6/5/2022 10:20 PLOTTED: 6/14/2022 09:43:07 USER: Lisa Lange

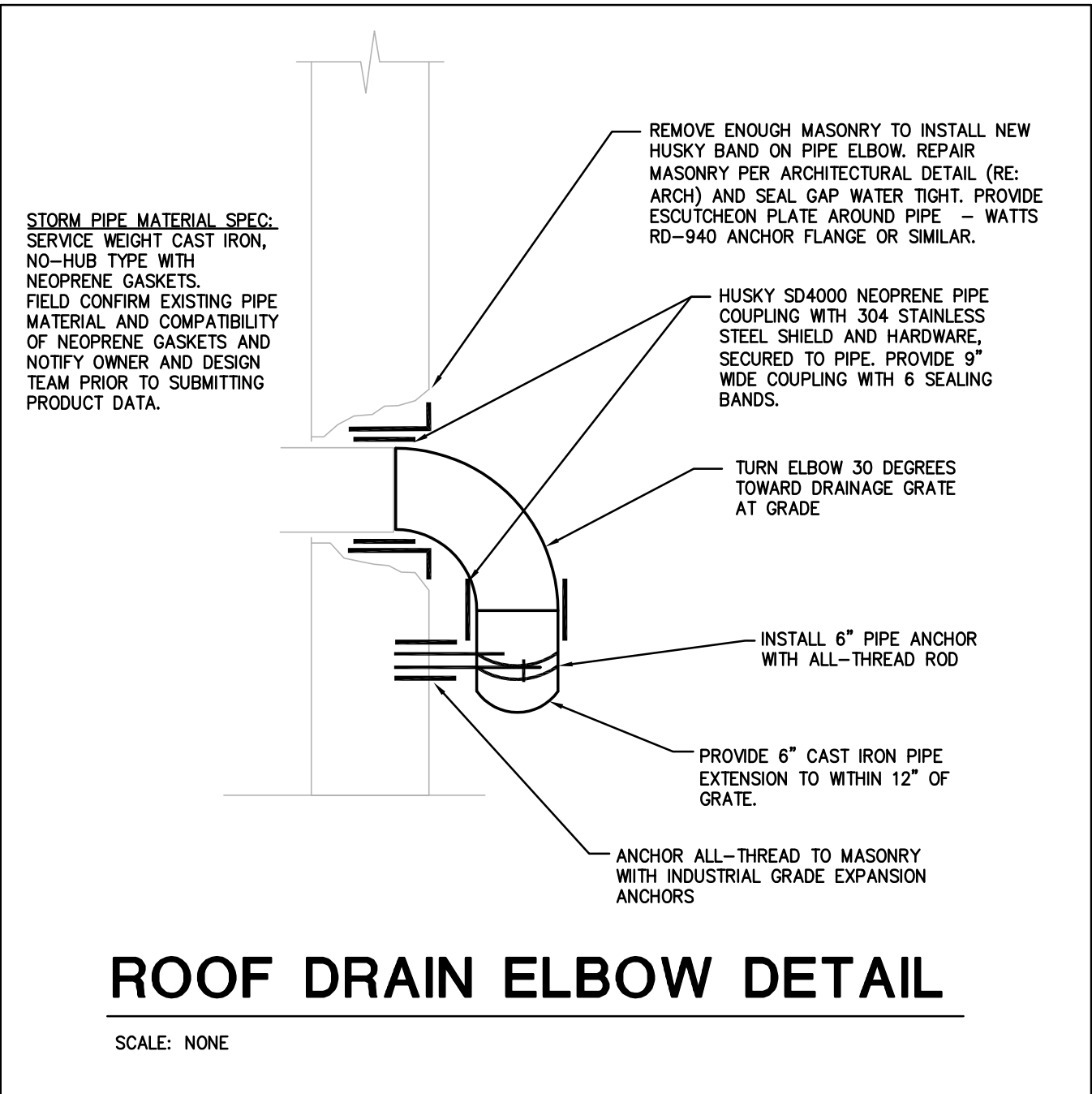
GENERAL LEGEND					
(Not all symbols listed below are used on these drawings)					
ABBR.	SYMBOL	DESCRIPTION	ABBR.	SYMBOL	DESCRIPTION
		SECTION DESIGNATION SECTION CUT ON THIS SHEET			CAP END OF PIPE
		VIEW REFERENCE DESIGNATION VIEW REFERENCE ON THIS SHEET			PITCH DOWN IN DIRECTION OF ARROW
		EQUIPMENT UNIT IDENTIFICATION EQUIPMENT UNIT NUMBER (UNIT SERVED - FLOOR - SEQUENCE #)			PIPE ANCHOR
		DIFFUSER IDENTIFICATION DIFFUSER NECK DIAMETER DIFFUSER CFM			PIPE ALIGNMENT GUIDE
		LINEAR DIFFUSER IDENTIFICATION LINEAR DIFFUSER NECK DIAMETER LINEAR DIFFUSER LENGTH LINEAR DIFFUSER CFM			UNION OR FLANGE
		FINNED TUBE RADIATOR ACTIVE ELEMENT LENGTH EQUIPMENT UNIT IDENTIFICATION EQUIPMENT UNIT NUMBER RADIATOR ENCLOSURE LENGTH (OR W-W=Wall-to-Wall)			CONCENTRIC PIPE REDUCER
		KEYNOTE REFERENCE			ECCENTRIC PIPE REDUCER
		KITCHEN/OWNER/MEDICAL EQUIPMENT REFERENCE			PRESSURE REDUCING VALVE
		TYPICAL ROOM REFERENCE (TOP = RM #, BOTTOM = FLR)			PRESSURE AND/OR TEMPERATURE RELIEF VALVE
		POINT OF CONNECTION, NEW TO EXISTING			ISOLATION VALVE (RE: SPEC FOR TYPE)
		POINT OF DISCONNECTION, DEMO			VERTICAL PIPE VALVE
		DIRECTION OF FLOW IN PIPE			CHECK VALVE
		DUCTWORK, PIPING AND EQUIPMENT TO BE REMOVED			SOLENOID / MOTORIZED VALVE
(E)		EXISTING			SOLENOID VALVE
(N)		NEW			HOSE END DRAIN VALVE
(R)		RELOCATED			PRESSURE / TEMPERATURE TAP
(F)		FUTURE			STRAINER
DIA	Ø	DIAMETER			STRAINER W/ BLOWDOWN
WAD		WALL ACCESS DOOR			BRAIDED FLEXIBLE PIPE CONNECTOR
NIC		NOT IN CONTRACT			DOUBLE-BOWL FLEXIBLE PIPE CONNECTOR
AFF		ABOVE FINISHED FLOOR			THERMOMETER
GC		GENERAL CONTRACTOR			PRESSURE GAUGE
MC		MECHANICAL CONTRACTOR			SIGHT GLASS
EC		ELECTRICAL CONTRACTOR			CEILING ACCESS PANEL
UNO		UNLESS NOTED OTHERWISE			PUMP
C		COMMON			THRUST BLOCK
NC		NORMALLY CLOSED			MANUAL AIR VENT
NO		NORMALLY OPENED			AUTOMATIC AIR VENT

PLUMBING LEGEND					
(Not all symbols listed below are used on these drawings)					
ABBR.	SYMBOL	DESCRIPTION	ABBR.	SYMBOL	DESCRIPTION
CW	— — — — — CW —	DOMESTIC COLD WATER PIPING	GCO		GRADE CLEANOUT / SURFACE CLEANOUT
HW	— — — — — HW —	DOMESTIC HOT WATER PIPING	FCO		FLOOR CLEANOUT
HWC	— — — — — HWC —	DOMESTIC HOT WATER CIRC PIPING	WCO		WALL CLEANOUT
CW-S	— — — — — CW-S —	SOFTENED DOMESTIC COLD WATER PIPING	SCO		STORM LINE CLEANOUT
HW-S	— — — — — HW-S —	SOFTENED DOMESTIC HOT WATER PIPING	AD		AREA DRAIN
140°F HW	— — — — — 140°F HW —	DOMESTIC HOT WATER PIPING @ TEMP SHOWN	FD		FLOOR DRAIN
140°F HWC	— — — — — 140°F HWC —	DOMESTIC HOT WATER CIRC PIPING @ TEMP SHOWN	FS		FLOOR SINK
TW	— — — — — TW —	TEMPERED WATER PIPING	RD / OD		ROOF DRAIN OR OVERFLOW DRAIN
TWC	— — — — — TWC —	TEMPERED WATER CIRC PIPING			
ICW	— — — — — ICW —	INDUSTRIAL COLD WATER PIPING	VB		ATMOSPHERIC VACUUM BREAKER
IHW	— — — — — IHW —	INDUSTRIAL HOT WATER PIPING	BFP		BACKFLOW PREVENTER
IHWC	— — — — — IHWC —	INDUSTRIAL HOT WATER CIRC PIPING	SA		SHOCK ARRESTOR W / ISOLATION VALVE
NPCW	— — — — — NPCW —	NON-POTABLE COLD WATER PIPING	GC		GAS SHUT-OFF VALVE
NPHW	— — — — — NPHW —	NON-POTABLE HOT WATER PIPING	SH		STOP AND DRAIN VALVE
NPHR	— — — — — NPHR —	NON-POTABLE HOT WATER CIRC PIPING	BV		BALANCING VALVE
V	— — — — — V —	VENT PIPING	WH		WALL HYDRANT
AV	— — — — — AV —	ACID RESISTANT VENT PIPING	HB		HOSE BIBB
W	— — — — — W —	WASTE PIPING	RH		ROOF HYDRANT
W	— — — — — W —	WASTE PIPING BELOW FLOOR	YH		YARD HYDRANT
AW	— — — — — AW —	ACID RESISTANT WASTE PIPING	DSN		DOWNSPOUT NOZZLE
AW	— — — — — AW —	ACID RESISTANT WASTE PIPING BELOW FLOOR	MH		MANHOLE
GW	— — — — — GW —	GREASE WASTE (TO GREASE INTERCEPTOR)	CI		CAST IRON
GW	— — — — — GW —	GREASE WASTE PIPING BELOW FLOOR	CB		CATCH BASIN
SD	— — — — — SD —	STORM DRAIN PIPING	VTR		VENT THRU ROOF
SD	— — — — — SD —	STORM DRAIN PIPING BELOW FLOOR	IE		INVERT ELEVATION
OD	— — — — — OD —	OVERFLOW DRAIN PIPING	PVC		POLYVINYL CHLORIDE
OD	— — — — — OD —	OVERFLOW DRAIN PIPING BELOW FLOOR			
CA	— — — — — CA —	COMPRESSED AIR			
G	— — — — — G —	NATURAL GAS PIPING			



EXISTING ROOF DRAIN TERMINATIONS

SCALE: NONE



## DEMOLITION GENERAL NOTES:

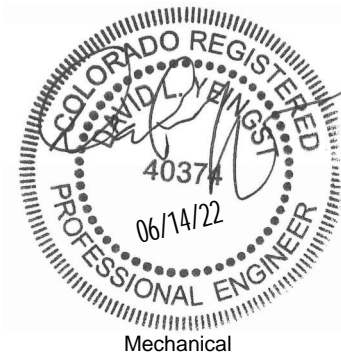
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND UNDERSTAND THE EXTENT OF THE REMODEL WORK REQUIRED PRIOR TO BID. NO EXTRAS WILL BE ALLOWED FOR WORK REQUIRED TO ACHIEVE THE END RESULT AS INDICATED BY THE CONTRACT DOCUMENT.
- CONTRACTOR SHALL DETERMINE AND COORDINATE THE EXACT EXTENT OF DEMOLITION TO FACILITATE ALL WORK INDICATED BY THE CONTRACT DOCUMENT.
- PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES FOR RESOLUTION.
- ALL ITEMS IDENTIFIED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. REMOVED ITEMS SHALL BE TURNED OVER TO THE OWNER UNLESS OTHERWISE NOTED AND STORED IN THE AREA DESIGNATED BY THE OWNER. REMOVE FROM SITE AND LEGALLY DISPOSE OF ALL ITEMS THE OWNER CHOOSES NOT TO ACCEPT.

## GENERAL NOTES:

- WORK INCLUDED IN THE CONTRACT IS DENOTED IN BOLD. EXISTING CONDITIONS TO REMAIN ARE DENOTED LIGHTLY.
- A DETAILED METHOD OF PROCEDURE IS REQUIRED WHEN A CONSTRUCTION ACTIVITY AFFECTS THE SAFETY OF THE OCCUPANTS, OWNER'S EQUIPMENT OR VALUABLE CONTENTS OR ANY SYSTEM WHICH SUPPORTS THESE SYSTEMS, OR ESSENTIALLY AFFECTS THE BUILDING MANAGEMENT, OPERATIONS OR SECURITY.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.
- COORDINATE WORK WITH ALL TRADES.
- CONTRACTOR SHALL NOT SHUT DOWN / TAKE OUT OF SERVICE ANY SYSTEMS WITHOUT FIRST COORDINATING WITH OWNER AND PREPARING M.O.P.
- PRIOR TO ORDERING PLUMBING EQUIPMENT OR MATERIALS, SUBMIT ALL PRODUCT DATA FOR REVIEW BY THE OWNER AND DESIGN TEAM (INCLUDING BUT NOT LIMITED TO PIPE MATERIAL, ANCHORS, COUPLINGS, ETC.).
- THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC, SHOWING CERTAIN PHYSICAL RELATIONSHIPS WHICH MUST BE ESTABLISHED WITHIN THE MECHANICAL WORK AND ITS INTERFACE WITH ALL OTHER WORK. SUCH ESTABLISHMENT IS THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR. DRAWINGS SHALL NOT BE SCALED FOR THE PURPOSE OF ESTABLISHING MATERIAL QUANTITIES.

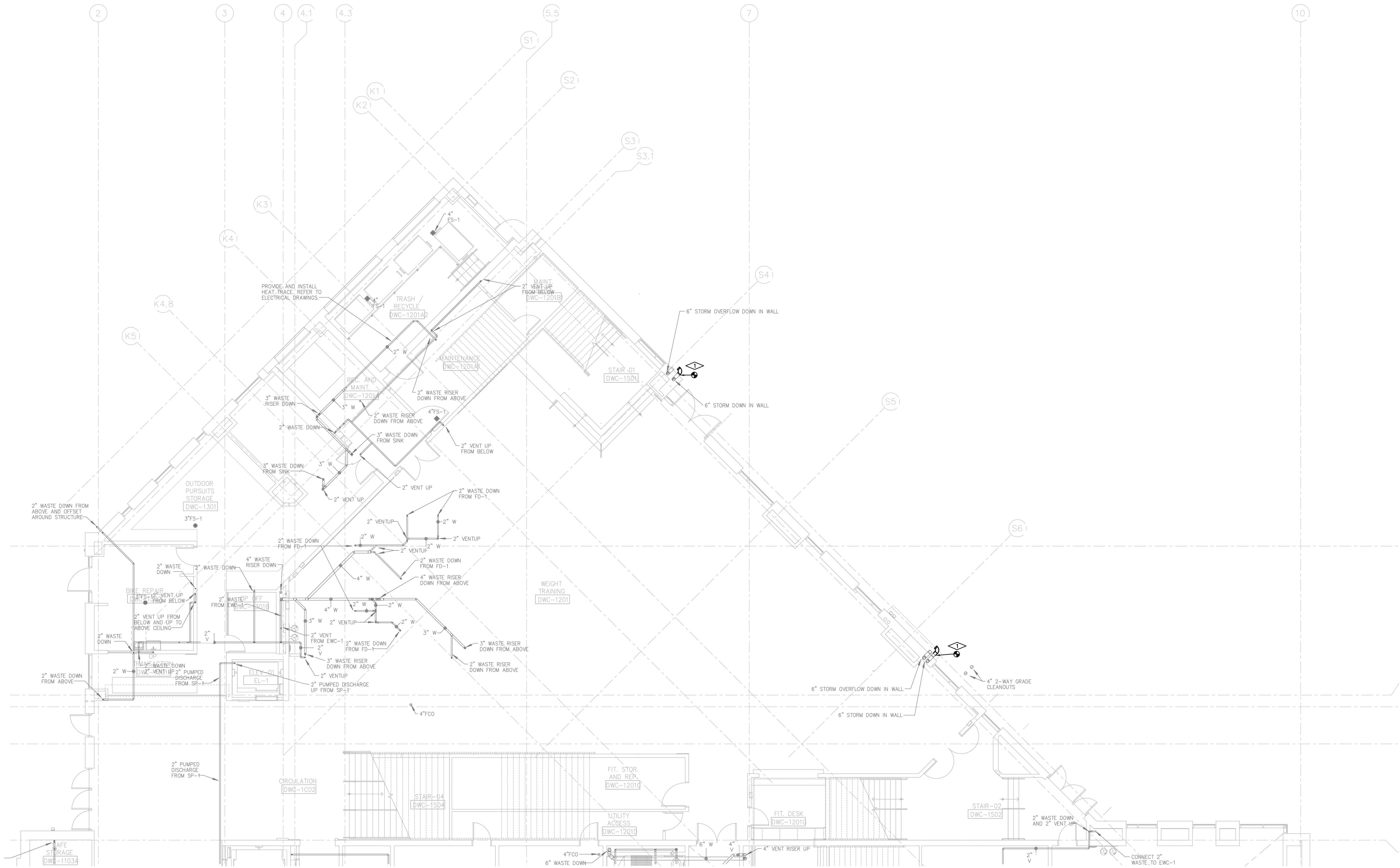
## PLUMBING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES FOR RESOLUTIONS.
- SEE ARCHITECTURAL CONSTRUCTION DOCUMENTS FOR WALL PATCHING REQUIREMENTS.





FILENAME: P:\CU\Denver\2022-003 Wellness Roof Drain\CU\Draw\Plumbing\DWG-11033.dwg LAYOUT: P-101 REVISION: 5/5/2022 10:20 PLOTTED: 6/14/2022 09:43:49 USER: Lisa Lange



## PLUMBING FLOOR PLAN - LEVEL 01

SCALE: 1/8" = 1'-0"

### NEW KEY NOTES:

1. PRIOR TO BEGINNING WORK, FIELD VERIFY WHICH OF THE TWO DOWNSPOUTS IS THE STORM MAIN DRAIN AND WHICH IS THE OVERFLOW DRAIN. REMOVE EXISTING DOWNSPOUT NOZZLE (DAS) AND ASSOCIATED ANCHOR FLANGE FROM STORM MAIN DRAIN. INSTALL NEW 90 DEGREE ELBOW ON EXISTING 6" PIPE. SEE DETAIL.

