

CU ANSCHUTZ MEDICAL CAMPUS

R2 BASEMENT FIX PAINT PHASE 2 RESEARCH BUILDING 2

PERMIT / CONSTRUCTION

PROJECT NUMBER: **21-164359**

DATE: **12/22/2021**

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RDG Planning & Design

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GENERAL NOTES
AND CODE
ANALYSIS

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R2

G1.01

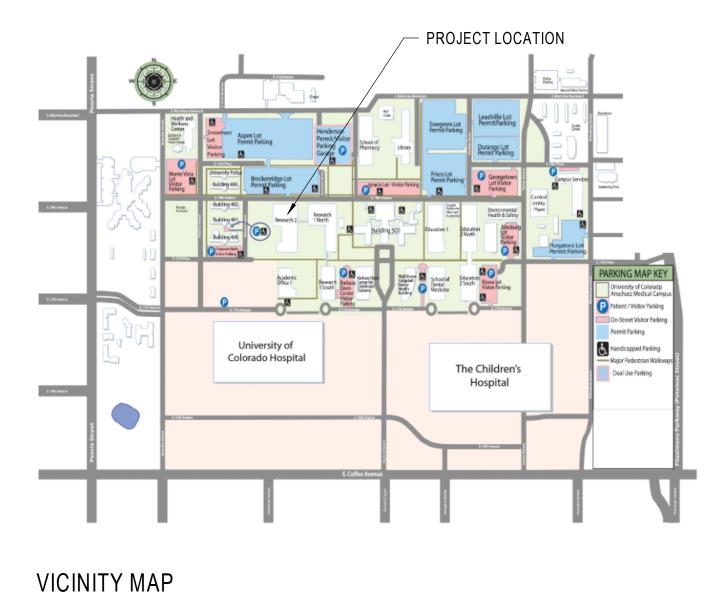
- * CONTRACTOR TO BRING ONLY MATERIALS FOR EACH 'WORK AREA'. THERE WILL BE NO STAGING LOCATION. CONTRACTOR WILL BE REQUIRED TO CUT MATERIALS IN THE WORK AREA AND CLEANUP BEFORE MOVING TO THE NEXT.
- * ALL WORKERS / CONTRACTORS / SUBS ENTERING THE VIVARIUM LEVEL MUST DON OWNER PROVIDED PPE, SUCH AS A GOWN, HAIR / FACIAL HAIR COVERING, SHOE/BOOT COVERINGS, MASK AND POTENTIALLY OTHER PPE FOR SPECIFIC AREAS FOR THE DURATION OF THE WORK ON THE VIVARIUM LEVEL
- * OWNER WILL VACATE WORK AREAS
 INDICATED PRIOR TO WORK STARTING IN EACH
 AREA TO BE COORDINATED BETWEEN
 CONTRACTOR AND OWNER. CONTRACTOR
 SHALL PRODUCE A WEEKLY UPDATED
 SCHEDULE THAT PROVIDES 7 DAYS NOTICE FOR
 THE OWNER TO RELOCATE TO THE NEXT WORK
 AREA

APPLICABLE CODES

2018	INTERNATIONAL BUILDING CODE (IBC)
2018	INTERNATIONAL MECHANICAL CODE (IMC)
2018	ENERGY CONSERVATION CODE (IECC)
2020	NATIONAL ELECTRICAL CODE (NEC)
2018	INTERNATIONAL PLUMBING CODE (IPC)
2018	INTERNATIONAL FUEL GAS CODE (IFGC) NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS (NFPA)
МООТ	NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS (NFFA)
MOST	
CURRENT	ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL GOVERNING CODES AND STANDARDS.
- 2. WHERE DISCREPANCIES OCCUR BETWEEN FLOOR PLANS, DETAILS AND LARGER SCALE PLANS, CONSULT ARCHITECT FOR CLARIFICATIONS. WHERE DISCREPANCIES OCCUR BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, CONSULT ARCHITECT FOR CLARIFICATION.
- COORDINATE ALL WORK BETWEEN ALL TRADES PRIOR TO PROCEEDING WITH WORK.
- 4. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS CAN NOT BE OBTAINED BASED ON THE DRAWING INFORMATION, CONSULT THE ARCHITECT FOR CLARIFICATION.
- PROVIDE ALL TRANSITION STRIPS AND TERMINATION STRIPS AS REQUIRED AT CHANGE IN FLOOR MATERIAL TO ASSURE A SMOOTH TRANSITION OF FINISHES THAT MEET ADA/ANSI HANDICAPPED STANDARDS.
- 7. DOOR FRAMES SHALL BE LOCATED 4" FROM ADJACENT INTERSECTION WALLS, UNLESS NOTED OTHERWISE.



PROJECT DESCRIPTION

PROJECT CONSISTS OF MINOR RENOVATION TO COVER THE WALLS AND CEILINGS IN SOME AREAS OF THE VIVARIUM LEVEL WITH CLASS A FRP PANELS.

CODE INFORMATION

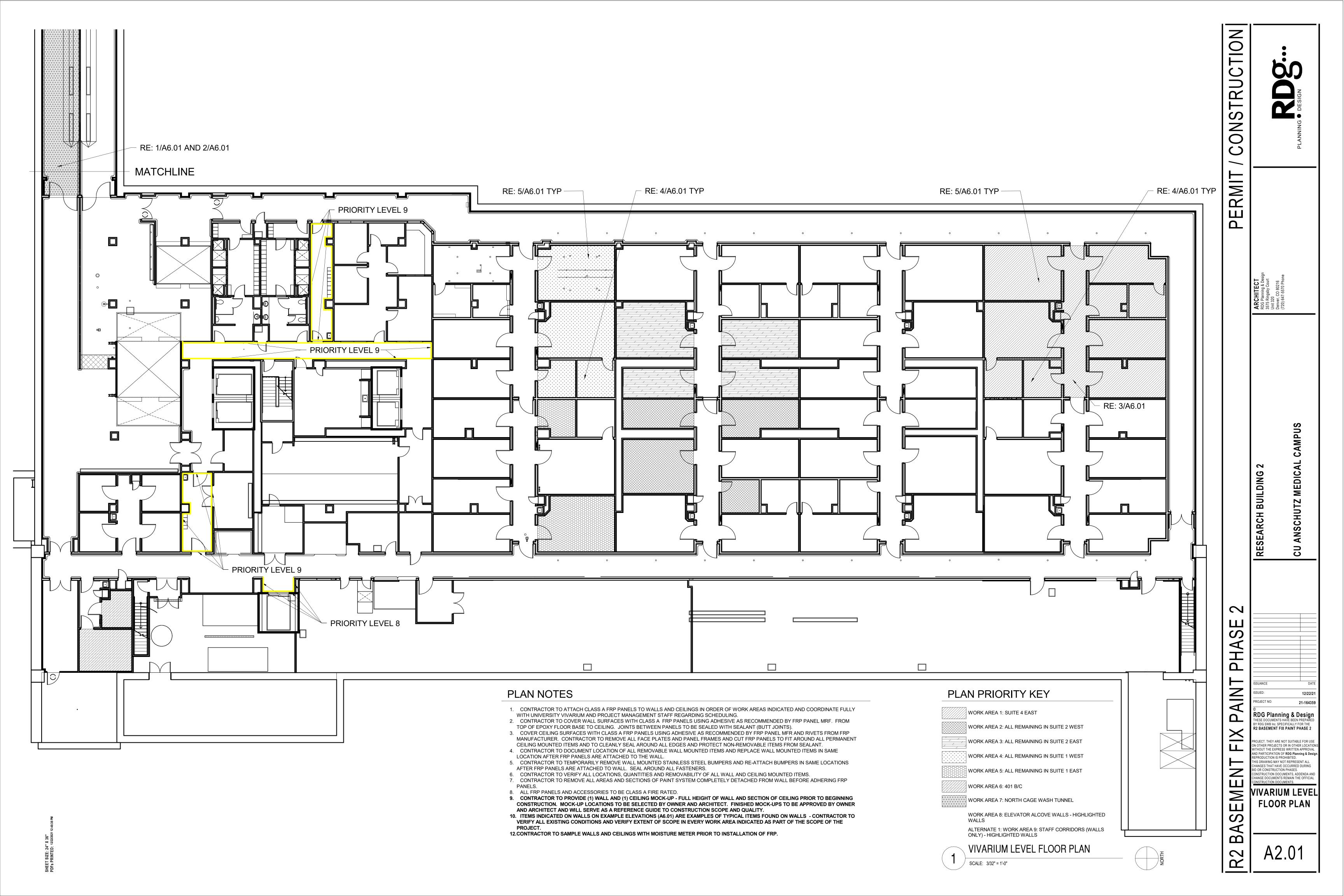
OCCUPANCY CLASSIFICATION: B

TYPE OF CONSTRUCTION: EXISTING - VB

NUMBER OF STORIES: (8)

AUTOMATIC SPRINKLER SYSTEM: EXISTING - YES

EGRESS NOT AFFECTED BY THE CONSTRUCTION



CONSTRUCTION PERMIT

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21-164359 RDG Planning & Design
THESE DOCUMENTS HAVE BEEN PREPARED Y RDG SWB Inc. SPECIFICALLY FOR THE R2 BASEMENT FIX PAINT PHASE 2

PROJECT. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATION HOUT THE EXPRESS WRITTEN APPROVAL ND PARTICIPATION OF RDG Planning & Design HIS DRAWING MAY NOT REPRESENT ALL CHANGES THAT HAVE OCCURRED DURING CONSTRUCTION DOCUMENTS, ADDENDA AND CHANGE DOCUMENTS REMAIN THE OFFICIAL

/IVARIUM LEVEL TUNNEL FLOOR

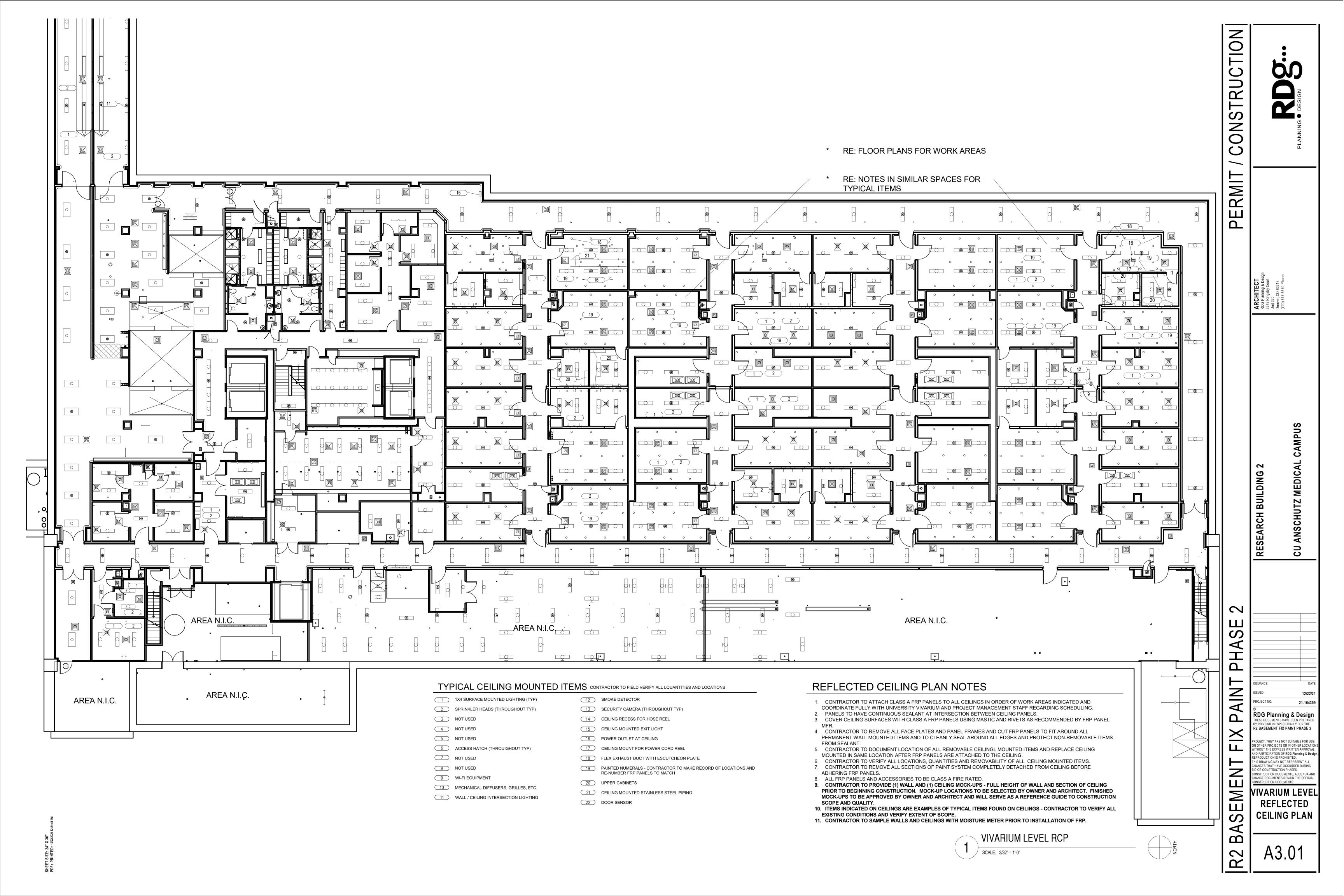
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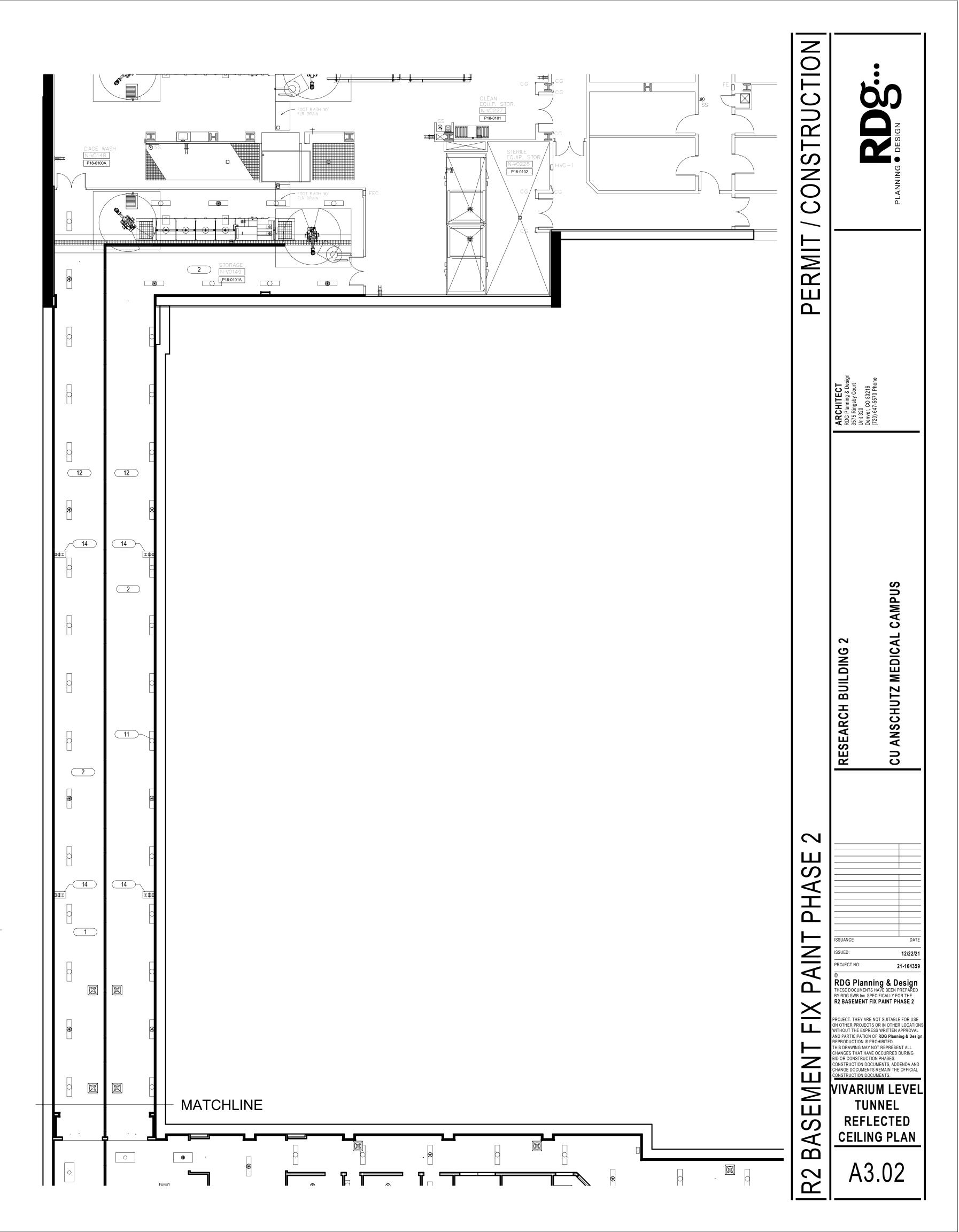
* RE: FLOOR PLANS FOR WORK AREAS

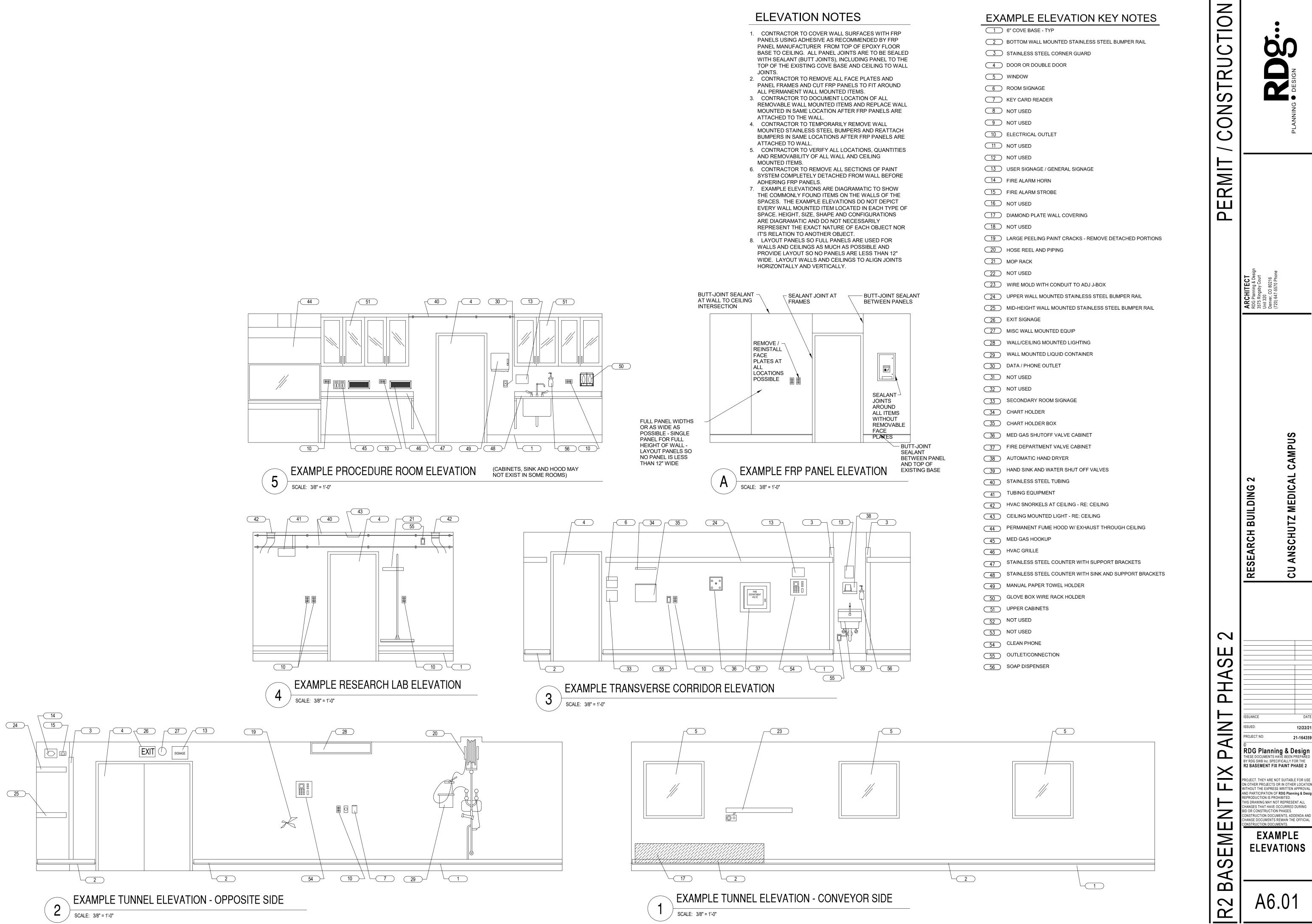
TYPICAL CEILING MOUNTED ITEMS CONTRACTOR TO FIELD VERIFY ALL LQUANTITIES AND LOCATIONS							
1	1X4 SURFACE MOUNTED LIGHTING (TYP)	12	SMOKE DETECTOR				
2	SPRINKLER HEADS (THROUGHOUT TYP)	13	SECURITY CAMERA (THROUGHOUT TYP)				
3	NOT USED	14	CEILING RECESS FOR HOSE REEL				
4	NOT USED	15	CEILING MOUNTED EXIT LIGHT				
5	NOT USED	16	POWER OUTLET AT CEILING				
6	ACCESS HATCH (THROUIGHOUT TYP)	17	CEILING MOUNT FOR POWER CORD REEL				
7	NOT USED	18	FLEX EXHAUST DUCT WITH ESCUTCHEON PLATE				
8	NOT USED	19	PAINTED NUMERALS - CONTRACTOR TO MAKE RECORD OF LOCATIONS AN				
9	WI-FI EQUIPMENT		RE-NUMBER FRP PANELS TO MATCH				
10	MECHANICAL DIFFUSERS, GRILLES, ETC.	(<u>20</u>)	UPPER CABINETS				
<u> 11</u>	WALL / CEILING INTERSECTION LIGHTING		CEILING MOUNTED STAINLESS STEEL PIPING				
			DOOR SENSOR				

REFLECTED CEILING PLAN NOTES

- 1. CONTRACTOR TO ATTACH CLASS A FRP PANELS TO ALL CEILINGS IN WORK AREAS INDICATED AND COORDINATE FULLY WITH UNIVERSITY VIVARIUM AND PROJECT MANAGEMENT STAFF REGARDING SCHEDULING.
- 2. PANELS TO HAVE CONTINUOUS SEALANT AT INTERSECTION BETWEEN CEILING PANELS. 3. COVER CEILING SURFACES WITH CLASS A FRP PANELS USING MASTIC AND RIVETS AS RECOMMENDED BY FRP PANEL MFR.
- 4. CONTRACTOR TO REMOVE ALL FACE PLATES AND PANEL FRAMES AND CUT FRP PANELS TO FIT AROUND ALL PERMANENT WALL MOUNTED ITEMS AND TO CLEANLY SEAL AROUND ALL EDGES AND PROTECT NON-REMOVABLE ITEMS FROM SEALANT.
- 5. CONTRACTOR TO DOCUMENT LOCATION OF ALL REMOVABLE CEILINGL MOUNTED ITEMS AND REPLACE CEILING MOUNTED IN SAME LOCATION AFTER FRP PANELS ARE ATTACHED TO THE CEILING.
- 6. CONTRACTOR TO VERIFY ALL LOCATIONS, QUANTITIES AND REMOVABILITY OF ALL CEILING MOUNTED ITEMS.
- CONTRACTOR TO REMOVE ALL SECTIONS OF PAINT SYSTEM COMPLETELY DETACHED FROM CEILING BEFORE ADHERING FRP PANELS.
- 8. ALL FRP PANELS AND ACCESSORIES TO BE CLASS A FIRE RATED.
- 9. CONTRACTOR TO PROVIDE (1) WALL AND (1) CEILING MOCK-UP FULL HEIGHT OF WALL AND SECTION OF CEILING AS DETERMINED BY OWNER, ARCHITECT, CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. MOCK-UP LOCATIONS TO BE SELECTED BY OWNER AND ARCHITECT. FINISHED MOCK-UPS TO BE APPROVED BY OWNER AND ARCHITECT AND WILL SERVE AS A REFERENCE GUIDE TO CONSTRUCTION SCOPE AND QUALITY. 10. ITEMS INDICATED ON CEILINGS ARE EXAMPLES OF TYPICAL ITEMS FOUND ON CEILINGS - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND
- 11. CONTRACTOR TO SAMPLE WALLS AND CEILINGS WITH MOISTURE METER PRIOR TO INSTALLATION OF FRP.







EXAMPLE ELEVATION KEY NOTES

ELEVATION NOTES

ELEVATIONS

EXAMPLE

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A6.01